

June 22, 1992

# NORTH ROSEVILLE AREA

*Design Guidelines*



**WADE ASSOCIATES**

URBAN PLANNING & DESIGN

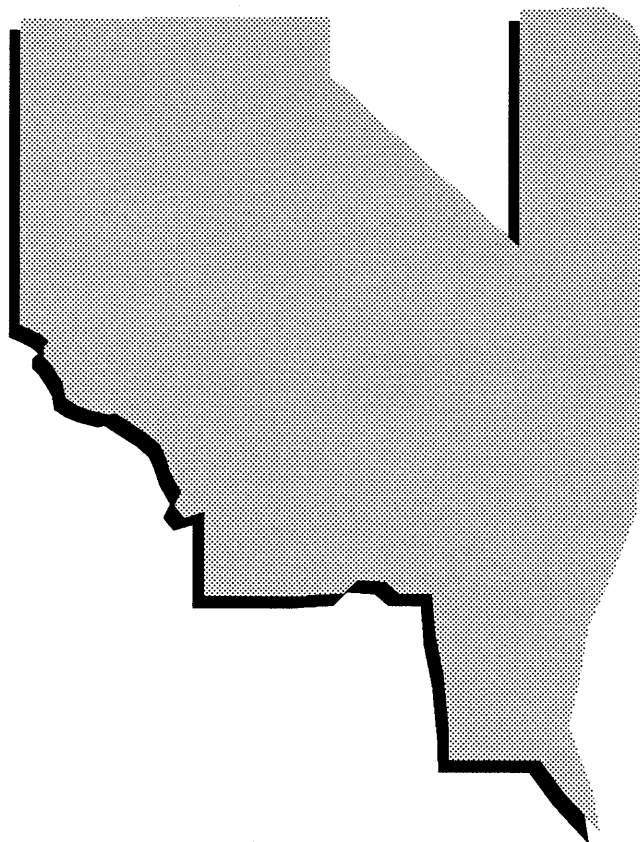
2150A Douglas Blvd., Ste. 220

Roseville, California 95661

(916) 783-8980 or (916) 969-8980

# NORTH ROSEVILLE AREA

## *Design Guidelines*



Prepared By:  
**Wade Associates**

Prepared For:  
**The North Roseville Area Landowners**

June 22, 1992

# TABLE OF CONTENTS

	<b>Page</b>
<b>1. INTRODUCTION</b>	<b>1-1</b>
1.1 Background and Purpose	1-1
1.2 Context	1-1
1.3 Physical Setting	1-3
1.4 Land Use Regulations	1-5
1.5 Project Review Process	1-5
<b>2. NORTH ROSEVILLE AREA DESIGN GUIDELINES</b>	<b>2-1</b>
2.1 Streets	2-1
2.2 Entry Points and Focal Points	2-3
2.3 Land Uses Adjoining Residential Areas	2-5
2.4 Designated 100 Year Flood Zones	2-5
2.5 Oak Woodland Areas	2-5
2.6 Southern Pacific Railroad Frontages	2-5
2.7 Infrastructure Coordination and Responsibilities	2-5
<b>3. SITE DESIGN GUIDELINES</b>	<b>3-1</b>
3.1 Purpose	3-1
3.2 Site Coverage	3-1
3.3 Minimum Setback Requirements	3-1
3.4 Site Grading	3-3
3.5 Fencing and Screening Guidelines	3-5
3.6 Storage Area	3-5
3.7 Loading and Service Areas:	3-6
3.8 Outdoor Refuse Collection Areas	3-6
3.9 Circulation and Parking	3-7
3.10 Handicapped Access	3-9
3.11 Emergency Access	3-10
<b>4. LANDSCAPE GUIDELINES</b>	<b>4-1</b>
4.1 Purpose	4-1
4.2 Concept	4-1
4.3 General Guidelines	4-2
4.4 Irrigation Guidelines	4-2
4.5 Landscape Maintenance Guidelines	4-3
4.6 Streetscape Design and Special Area Guidelines	4-3
4.7 Parcel Specific Guidelines	4-9

## Table of Contents (Continued)

	<b>Page</b>
<b>5. ARCHITECTURAL GUIDELINES</b>	<b>5-1</b>
5.1 Purpose	5-1
5.2 General Guidelines	5-1
5.3 Building Massing and Form	5-1
5.4 Materials	5-2
5.5 Mechanical Equipment Screening	5-2
<b>6. EXTERIOR SIGNAGE GUIDELINES</b>	<b>6-1</b>
6.1 Objective	6-1
6.2 General Standards	6-1
6.3 Free Standing Signs	6-3
6.4 Miscellaneous Signs-Temporary Identification Signs	6-3
<b>7. LIGHTING GUIDELINES</b>	<b>7-1</b>
7.1 Objectives	7-1
7.2 General Guidelines	7-1
7.3 Parking and Driveway Illumination	7-2
7.4 Service Area Illumination	7-2
7.5 Building Illumination	7-2
7.6 Pedestrian Area Illumination	7-3
7.7 Security Illumination	7-4
7.8 Signage Lighting	7-4

APPENDIX A - Recommended Plant Materials

APPENDIX B - Recommended Planting Details

APPENDIX C - Example of Shade Calculations

APPENDIX D - Example of Irrigation Calculation Format

APPENDIX E - Water Conservation and Drought Mitigation Ordinance

## LIST OF FIGURES

	<b>Page</b>	
1.1	Location Map	1-2
1.2	Vicinity Map	1-3
2.1	Landscape Corridor Hierarchy	2-2
2.2	Primary Arterial Landscape Corridor	2-3
2.3	Entry Point Setback Requirements	2-4
2.4	Landscape Buffer Setback at Residential Area	2-7
3.1	Front, Side and Rear Setbacks	3-2
3.2	Setback Requirements: Front	3-3
3.3	Setback Requirements: Side	3-4
3.4	Typical Trash Enclosure	3-7
3.5	Vehicular Sight Lines	3-8
3.6	Required Screen for Elevated Parking	3-9
3.7	Parking Lot Striping Standards	3-9
4.1	Conceptual Streetscape Section	4-6
4.2	Conceptual Streetscape Plan	4-7
4.3	Street Tree Pruning	4-8
4.4	Landscape Zones	4-10
4.5	Driveway Entry Concepts	4-11
4.6	Special Entry Paving Concept (Option A)	4-12
4.7	Parking Lot Planter Options	4-14
4.8	Parking Lot Shading Coverage Example	4-16
4.9	Screening Concepts	4-17
6.1	Sign Area Allotments	6-2
6.1	Free Standing Signs	6-3
7.1	Lighting Standards	7-1
7.2	Parking Lot Fixture	7-2
7.3	Pedestrian Lighting Fixture	7-3
7.4	Identification Signage Lighting	7-4

# 1. Introduction

## 1.1 Background and Purpose

The North Roseville area comprising approximately 2,300 acres encompasses some of the largest undeveloped land areas within the City of Roseville, California. Although the city designated the area in the 1983 General Plan for general and light industrial uses, it had been the intention of the city to define the area more specifically in terms of allowable uses and actual locations of uses by preparing a specific plan for the area.

Based solely on the 1983 General Plan designations, the range of potential development options vary widely in terms of use and character. Projects already constructed or underway suggest considerable diversification rather than singular type uses. Manufacturers and distributors of building related materials are represented by Continental Door, Latham Lumber and American Olean Tile. Albertsons grocery chain has located its regional distribution center within the area while Hewlett Packard and NEC have established a major presence for the "high-tech" electronic industries. A definable trend cannot be discerned from these current uses. However, it is not in the city's interest nor the majority of the present landowners to let a random development process dictate the full buildout of the project area.

These guidelines are intended to influence the general character of all future development within the North Roseville area and serve as a reference document for all subsequent development. It is the objective of these guidelines to establish standards for development which produce exemplary projects in terms of quality and character. It is also intended that the standards should enable the established diversity within the area to continue in a rational and complimentary fashion.

## 1.2 Context

The North Roseville area is located approximately two miles from Interstate 80 and is partially defined on its eastern boundary by State Route 65. (see Figure 1.1 Location Map) The city limits of Roseville define the northern boundary while the city-adopted Northwest Roseville Specific Plan borders much of the southern limits. The western limits are, for the most part, defined by undeveloped Placer County lands. The Southern Pacific Railroad divides approximately one-fifth of the area on a north/south axis parallel to the eastern boundary. Blue Oaks Boulevard

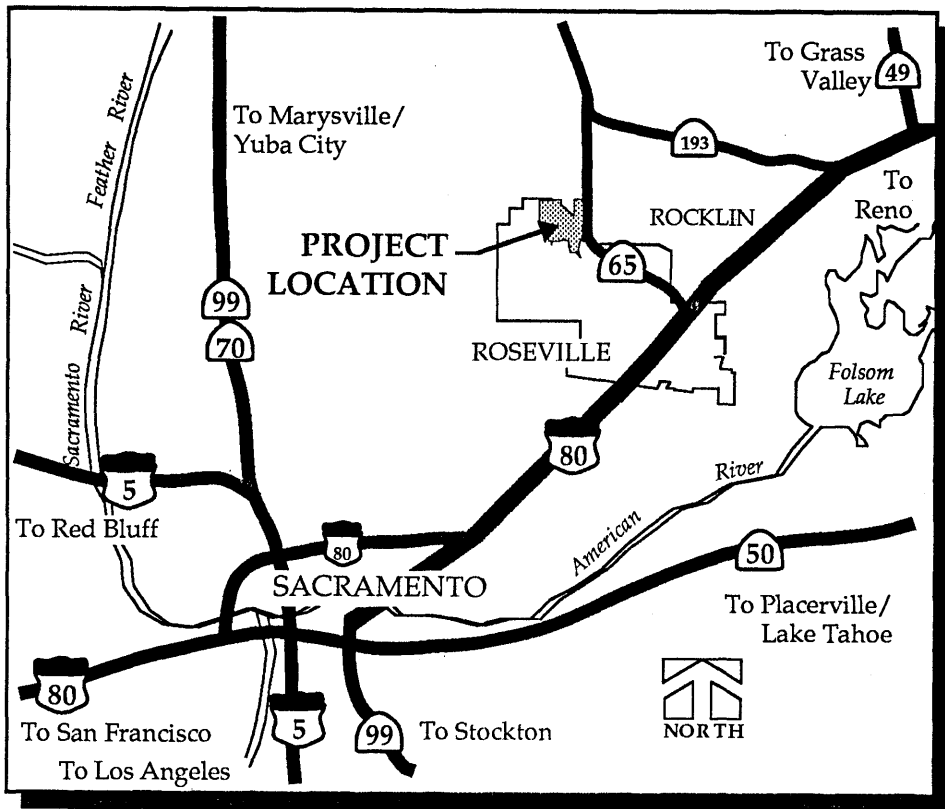


Figure 1.1  
Location Map

currently serves as the primary access route as it links to both Interstate 80 and State Route 65. Foothills Boulevard is also a major access route and enters the area from the south. (see Figure 1.2, Vicinity Map)

Surrounding land uses are indicative of new development in the city's northwest quadrant. The adopted Northwest Specific Plan will introduce substantial residential development in the area. To the north, the North Roseville area adjoins an extensive contiguous area of industrial oriented development including the Foothills Business Park, Sunset Industrial Park, Stanford Ranch and the Atherton Technology Center.

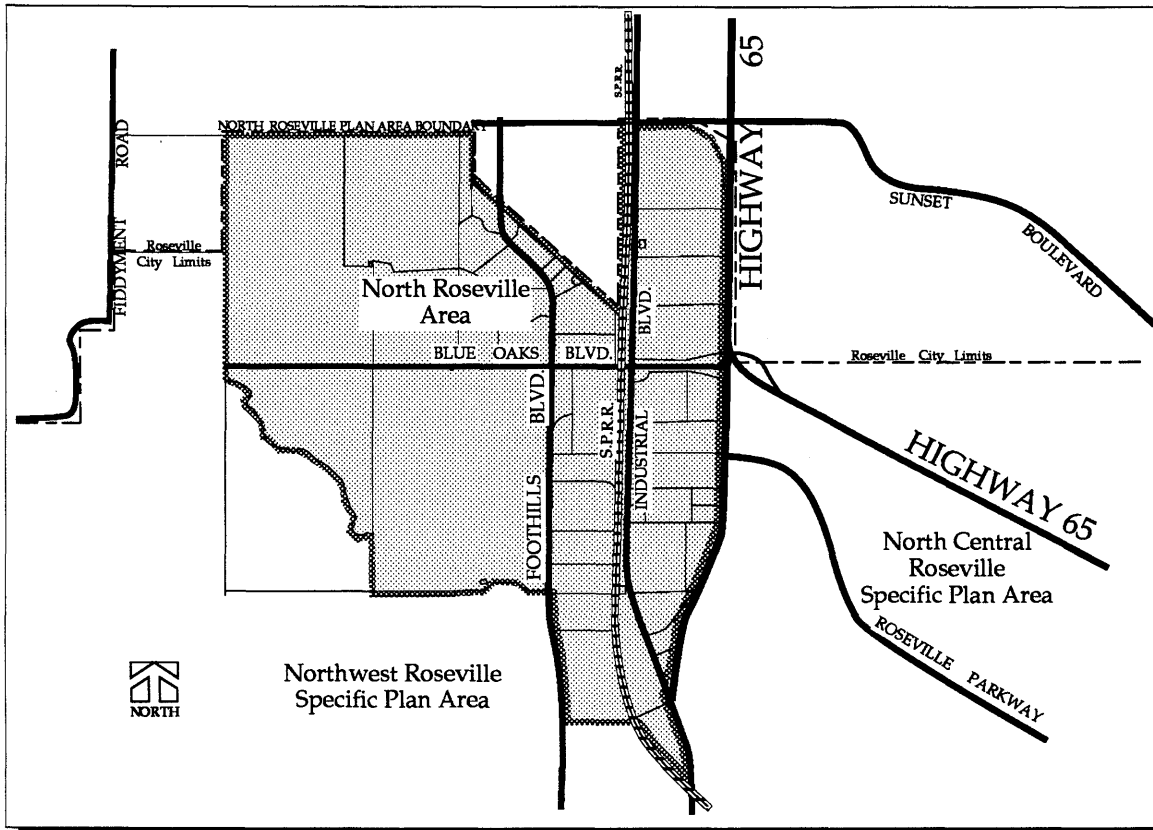


Figure 1.2  
Vicinity Map

### 1.3 Physical Setting

The North Roseville area is characterized by gentle sloping hills trending to the northwest. The predominant vegetation consists of introduced grasslands with a profusion of seasonal native wildflowers and perennial groundcovers. Valley oaks line the drainage courses which cross the area in two primary alignments - one trending diagonally from the southeast to the northwest and the other from the east to the west. Both drainage courses are tributaries to the Pleasant Grove Creek and comprise the upper limits of the south and primary branches. Both branches are subject to periods of flooding and 100 year flood limits will require specific design and siting provisions. Additionally, the City of Roseville has specific guidelines for development in areas where native valley oak trees occur.

### 1.3.1 Climate

The particular climate characteristics of the area will affect a variety of elements of a given project. Energy efficiency, comfortable interior and exterior space, shade requirements for parking and adequate storm run-off collection systems all relate to the particular climate conditions.

The mean temperatures range from a low of 35°F to 40°F in January to a high of 90°F to 105°F in July and August and the average frost-free season is about 270 days. The average minimum January temperature is 39°F while the average maximum July temperature is 96°F. The Roseville area enjoys moderate precipitation. Rainfall averages between 18 - 23 inches, falling primarily in the winter and spring months. The peak (100 year) one hour rainfall is 1.7 inches. Storm winds are primarily from the south while cooling summer breezes are out of the southwest and west.

### 1.3.2 Soils

The Soil Survey of Placer County, California, Western Part prepared by the USDA Soil Conservation Service indicates that the predominant soil type within the North Roseville area (approximately 90% of the total area) consists of the Cometa-Fiddymment complex. The other soils are primarily sandy and sandy-loam soils and are distributed along the intermittent and perennial stream channels running through the area.

As the Cometa-Fiddymment Complex is by far the most prevalent soil encountered, it is described as the representative soil type for the North Roseville area. In this soil classification, permeability is very slow and the effective rooting depth in undisturbed conditions ranges from 20 to 60 inches. Surface run-off is slow and the hazard of erosion is slight. After intense rainstorms the soil will remain saturated for a short time. The Soil Conservation Service has designated this soil as having a capability unit IVE-3(17). This capability unit rating indicates this soil to have:

- soil limitations that reduce the choice of plants, or that require very careful management (IV).
- the risk of erosion unless close-growing plant cover is maintained (e).
- a limitation of slow or very slow permeability of the subsoil or substratum caused by a clayey subsoil (3).
- a land resource area, in this instance this particular areas is included in the terraces of the Sacramento Valley (17).

These soil designations are based on Soil Conservation Service interpretations on 1" = 2000' maps. Further soil analysis is required for

each development area before detailed site planning occurs in order to obtain more site-specific soils information.

## **1.4 Land Use Regulations**

### **1.4.1 Existing Land Use Regulations**

The North Roseville area is designated for light industrial uses for all lands west of Industrial Avenue with the exception of one 20-acre area of commercial south of Industrial Avenue and east of Foothills Boulevard. General Industrial land uses are designated for lands between Industrial Avenue and Highway 65.

Permitted uses include but are not limited to:

1. Manufacturing involving assembly, manufacturing and finishing (storage and distribution) of goods.
2. Services including laboratory testing, graphic reproduction, delivery, architectural, trade schools, day care, repair, data processing and answering services.
3. Office including professional, medical, governmental, financial and labor offices.
4. Warehousing including storage and wholesaling.
5. Miscellaneous and accessory uses including restaurants, cafes, recreational centers and incidental retail.

Please refer to the City of Roseville Zoning Ordinance for the complete list of uses allowable within the applicable zoning categories of light industrial, general industrial and commercial.

## **1.5 Project Review Process**

### **1.5.1 Guidelines Implementation**

These guidelines will be adopted by City Council Resolution and are intended to be generally applicable to any and all development proposals occurring within the North Roseville Area. As these guidelines support and augment existing City ordinances for each specific subject area addressed, it will be the responsibility of the developer to prepare and submit documents which are generally consistent with the provisions of these guidelines while ensuring compliance with existing City ordinances.

### **1.5.2 Use Permit Requirements**

Each applicant will be responsible for obtaining a use permit from the City of Roseville before any construction can begin. Applications are available from the City of Roseville Planning Department. Once an application is submitted, the Planning Department reviews all submitted applications for completeness within 30 working days and the project applicant is contacted when the application is complete or if additional information is needed. Once a completed application is accepted, an environmental determination is made within 30 days. The project may be exempt from the California Environmental Quality Act or may need additional analysis. If the project is not exempt, an initial study is prepared by the Planning Department to determine if a Negative Declaration or an Environmental Impact Report is warranted.

### **1.5.3 Project Review Process**

At the same time that the environmental determination is being made, the submitted project plans will be circulated for review before various city departments and other applicable agencies. Plans are normally circulated for 30 days and each department or agency reviews and comments on their particular area of expertise. At the conclusion of the review period, the Planning Department, the applicant and the affected departments and agencies meet to discuss the project and the various comments received. The purpose of this meeting is to resolve development issues, if possible, prior to the public hearing process.

### **1.5.4 Public Hearing Procedure**

After the initial project review period, the project proposal will be scheduled for the first available public hearing date and the Planning Department will prepare a staff report which includes a recommended action which may include specific conditions of approval. The proposal will then be heard by the appropriate Commission or Council and a decision will be rendered after review of the staff report and hearing testimonies. A minor use permit (for total combined building structure area of less than 250,000 sq. ft. and employing less than 500 employees) is reviewed by the Project Review Commission while a major use permit (for combined building structure area of greater than 250,000 sq. ft. and/or employing 500 or more employees) is reviewed by both the Project Review Commission and the Planning Commission.

### **1.5.5 Other Required Permits**

Once an approval is granted, the project will be submitted to the Building Department to secure a building permit and, once construction has been

completed, an occupancy permit. Normally the applicant has one year from the date of approval to secure a building permit or utilize other types of permits. The Planning Department reviews all approved building plans prior to the issuance of a building permit, and all completed projects prior to the issuance of an occupancy permit, to insure consistency with Commission or Council approval.

## **2. North Roseville Area Design Guidelines**

Major issues which are not site specific in nature are addressed in this section. These standards respond to the overall features and conditions affecting the North Roseville area and address the major design elements and principles which shape the image of the area. The key subjects addressed in this section include the defining of roadway standards for designated primary and secondary landscape corridors, defining of standards for North Roseville area entry points, edge treatments at adjoining sensitive land uses such as residential uses, standards for unique existing conditions such as 100 year flood zones, oak woodland areas, and standards addressing special site elements such as the Southern Pacific Railroad frontage.

### **2.1 Streets**

Special setback and landscaping standards are defined here for the major streets in and adjacent to the North Roseville area. A minimum dimension for landscape corridor treatment is established for two levels of roadways: Primary Arterial Corridors and Secondary Arterial Corridors.

- **Primary Arterials:** (see Figure 2.1) The city has designated Foothills Boulevard and Roseville Parkway with 50-foot minimum landscape corridor setbacks. Consistently, a 50-foot minimum landscape corridor setback will be required for all roadways designated as Primary Arterials extending from each side of the roadway right-of-way for a total 100-foot landscape corridor dimension. A 100-foot average and a 75-foot minimum building setback is also required on these frontages.
- **Secondary Arterials:** (see Figure 2.1) A 35-foot minimum landscape corridor setback is required for roadways designated as Secondary Arterial extending from each side of the roadway right-of-way for a total 70-foot landscape corridor dimension. A 50-foot average and 35-foot minimum building setback is also required.

These setback requirements supersede setback requirements on individual parcels. Landscape corridor setbacks only pertain to the frontage along the designated corridor regardless of the actual frontage orientation of the individual parcel and building.

The desirable landscape treatment for the Primary and Secondary Arterial corridors is suggested in Figure 2.2, Primary and Secondary Corridor Landscaping and Setbacks. The recommended planting list for designated corridors is shown in Appendix A.

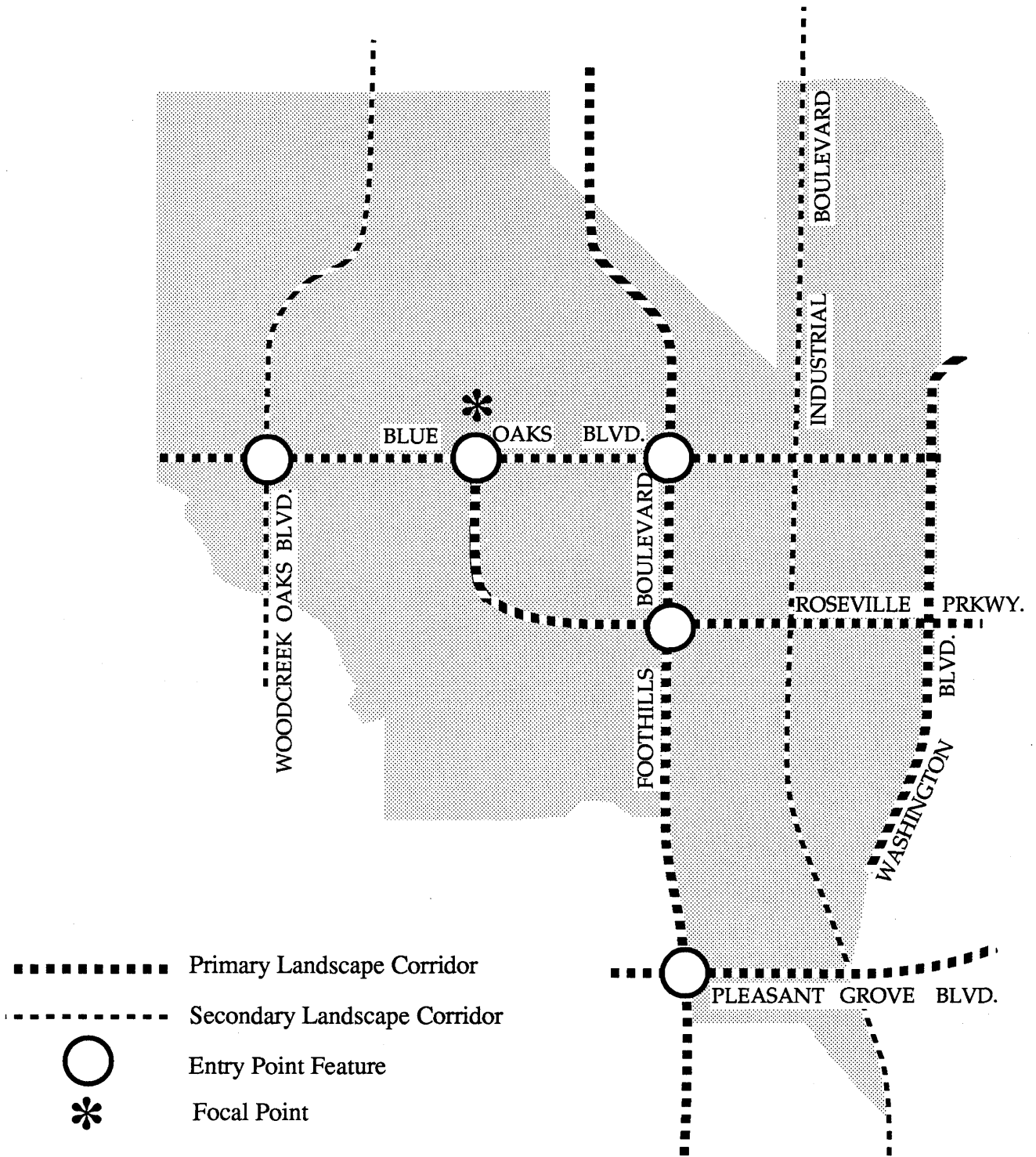


Figure 2.1  
Landscape Corridor Hierarchy

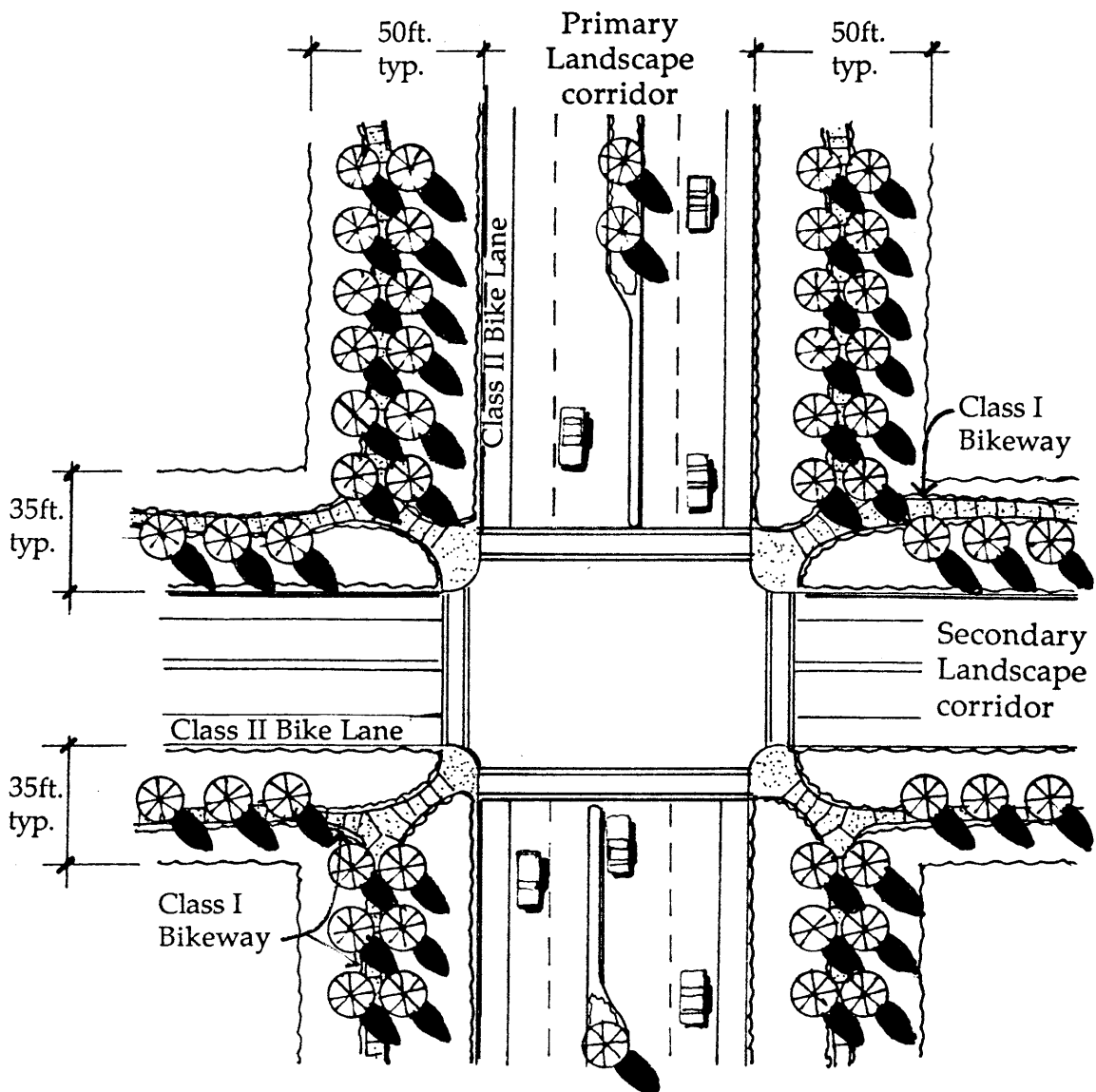


Figure 2.2  
Primary Arterial Landscape Corridor

## 2.2 Entry Points and Focal Points

Additional setbacks are required for designated entry points (see Figure 2.3, Entry Point Setback Requirements) and major landscape focal points. An additional 35 feet perpendicular to each roadway tangent of the designated North Roseville area entry points is required. For focal point locations, an additional 30-foot by 30-foot setback is required adjoining the landscape corridor where designated. Suggested locations of entry points and designated landscape focal points are shown in Figure 2.1. Prototypical landscape treatments for these elements are shown in Figure 2.3, Entry Point Setback Requirements. Suggested plant materials are listed in Appendix A.

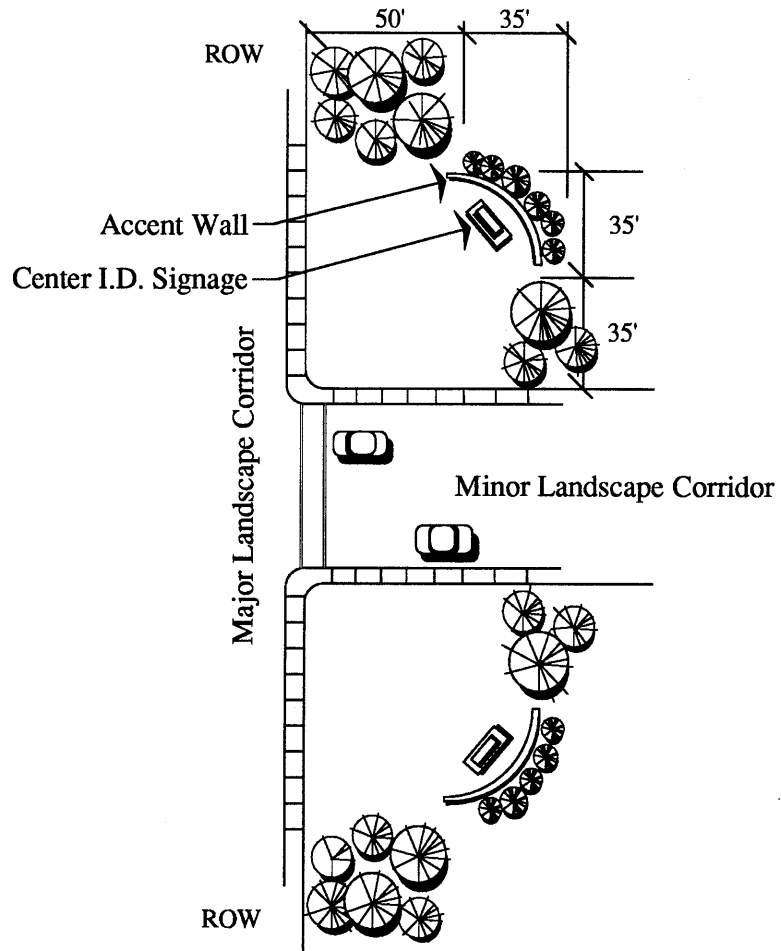


Figure 2.3  
Entry Point Setback Requirements

## **2.3 Land Uses Adjoining Residential Areas**

A minimum 35-foot setback for landscape screening is required for all properties adjoining existing and designated future residential areas. A prototypical landscape treatment is illustrated in Figure 2.4, Landscape Buffer Setback at Residential Area. Suggested plant materials are listed in Appendix A.

## **2.4 Designated 100 Year Flood Zones**

North Roseville areas in which 100 year flood zones occur must comply with standards consistent with the City of Roseville Flood Zone Ordinance and General Plan policies. Typically the city requires dedication of all land determined to be within the 100 year floodplain. Incidental and ancillary uses not involving occupied structures such as parking are permitted in some cases but require special use permit approval.

## **2.5 Oak Woodland Areas**

For lands in which oak woodlands occur, development procedures shall comply with the City of Roseville's Tree Preservation Ordinance number 2294. These provisions have been established to promote and protect the public health, safety and general welfare of the city while, at the same time, facilitating an individual's rights to develop private property.

The intent of these guidelines is to ensure compliance with the city's standards and policies as defined and specified in the General Plan and specific city ordinances. Specific measures which will facilitate this intent include special care in site planning within oak woodland areas and, on large sites, the locating of facilities and infrastructure away from oak woodland areas.

## **2.6 Southern Pacific Railroad Frontages**

A 15-foot minimum setback is required for frontages along the Southern Pacific Railroad right-of-way. The purpose of this setback is to enable landscape screening between facilities and the railroad.

## **2.7 Infrastructure Coordination and Responsibilities**

**2.7.1** The developer must ascertain what additional improvements are required by the City for properties adjoining public roadways and rights-of-way.

**2.7.2** The design of these City required improvements will not begin until the subject department has received Public Works Department approved and complete improvement plans.

**2.7.3** Public utility easements are required along public roadway frontages as necessary for utility lines.

**2.7.4** The developer is typically obligated for all charges associated with the relocation of existing utility facilities as caused by the development.

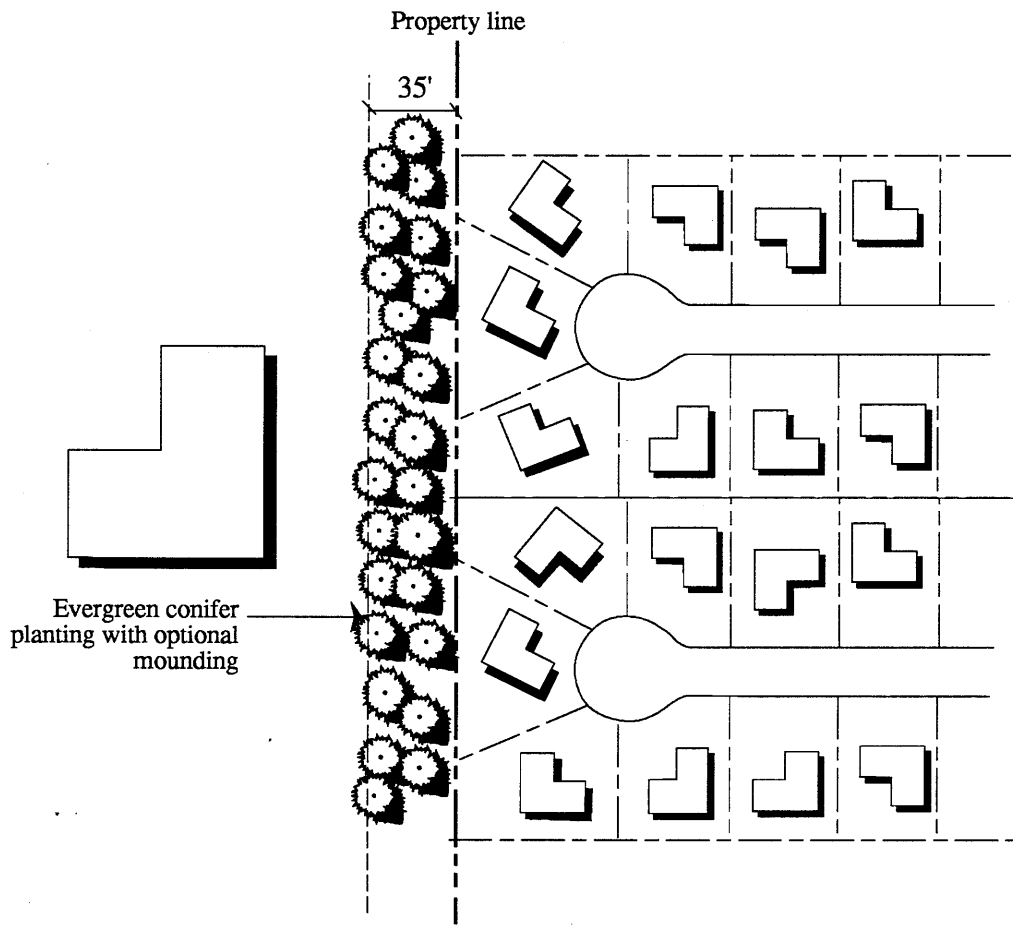


Figure 2.4  
Landscape Buffer Setback at Residential Area

## **3. Site Design Guidelines**

### **3.1 Purpose**

The site design guidelines establish the technical standards for efficient and attractive use of the land. These guidelines address the major features of land use including the maximum allowable percentage of coverage by building and structures relative to the total gross site area, the maximum building height, required setbacks for buildings and other site elements, parking, grading, and other special requirements.

### **3.2 Site Coverage**

The maximum allowable lot coverage by all combined structures and buildings shall not exceed 50% of the gross lot area.

### **3.3 Minimum Setback Requirements**

The minimum setback requirements for buildings are listed in Table 1. Setback requirements are sub-divided into three types of site frontage; front, side and back. Building setback requirements have been defined to allow a range of setback distances which are graduated according to the scale and massing of a facility. Multiple structures on a single parcel, defined as two or more primary structures, are quantified according to their total aggregate area. However, for single structure per parcel facilities, more stringent setback requirements have been established. These setback requirements are intended to facilitate a coordinated streetscape appearance, provide ample space between facilities to ensure adequate light and privacy and provide sufficient space between the right-of-way limits, parking and buildings.

#### **3.3.1 Front Yard Setbacks**

Minimum front setbacks for all buildings, structures, accessory structures and parking lots are indicated in Table 1. An averaging of setback distance is allowed for building setbacks enabling some siting flexibility and in order to avoid a continuous wall effect which could result from a fixed minimum dimension. (see Figure 3.1, Front, Side and Rear Setbacks) Any part of a structure may extend to the setback minimum as long as the overall building setback average is equal to or greater than the specified setback average. For corner lot sites, the specified average setback requirement applies to both frontages. Where an individual parcel adjoins a designated Primary or Secondary Landscape Corridor easement, corridor setback requirements shall supersede the site specific setback requirement for the property edge adjoining that corridor.

**TABLE 1**  
**Minimum Setback Requirements**

<u>Category</u>	<u>Required Setbacks Measured In Feet</u>								
	Front		Front		Side		Rear		
	Minimum	Average	Minimum	Average	Mult.	Single	Mult.	Single	
	Mult.	Single <sup>1</sup>	Mult.	Single	Mult.	Single	Mult.	Single	
<u>Buildings and Structures</u>									
Building Total Area:									
Less than	15,000 sq. ft.	35	35	40	45	10	10	20	20
Less than	25,000 sq. ft.	40	45	55	60	15	15	25	25
Less than	50,000 sq. ft.	45	50	65	70	20	20	35	35
Less than	100,000 sq. ft.	55	65	75	80	30	35	40	45
Greater than	100,000 sq. ft.	80	90	100	100	40	50	50	60
Parking & miscellaneous									
Site Elements		20 ft.				6 ft.		6 ft.	
Building Pad Landscape <sup>2</sup>		10 ft.				10 ft.		n/a	

- Multiple primary structures or buildings on a single parcel and single primary buildings or structures on a single parcel.
- Building pad landscape is required for all uses within the city-designated light industry district.

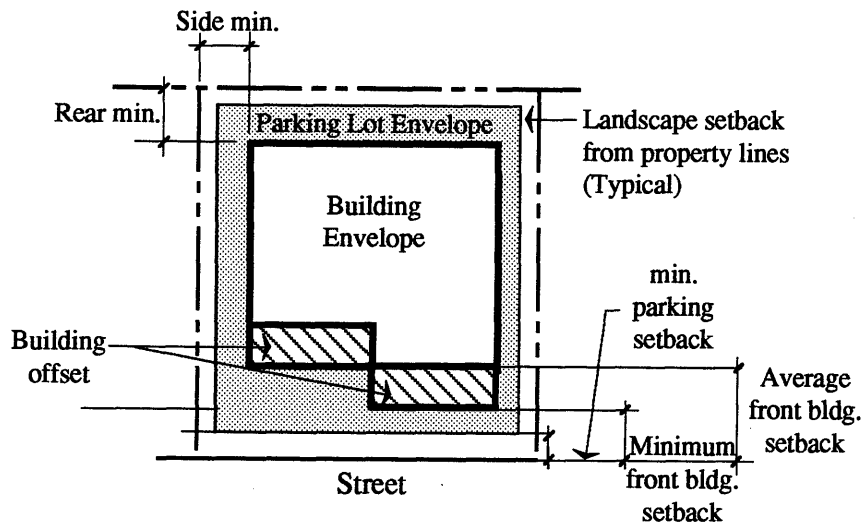


Figure 3.1  
Front, Side and Rear Setbacks

### 3.3.2 Side & Rear Setbacks

Side and rear setbacks for all land uses are indicated in Table 1. For access driveways and parking lots shared by adjacent property owners, no parking lot setback is required.

### 3.3.3 Special Setback Requirements

An additional 10-foot wide (Building Pad) landscape zone, measured from the building foundation, is required adjacent to the front and sides of each building or structure for all uses within the city-designated Light Industrial and Commercial districts. For all other districts, the 10-foot Building Pad landscape zone is only required at the front setback. (see Figure 3.2, Setback Requirements: Front and Figure 3.3, Setback Requirements: Side)

### 3.4 Site Grading

The following guidelines address grading and earthwork practices as they effect aesthetic form, erosion control, drainage and water quality.

3.4.1 All finished grades shall conform to the recommendations and requirements of the Soil Engineer's report. In no case shall slopes exceed four (horizontal) to one (vertical) unless approved by the City of Roseville.

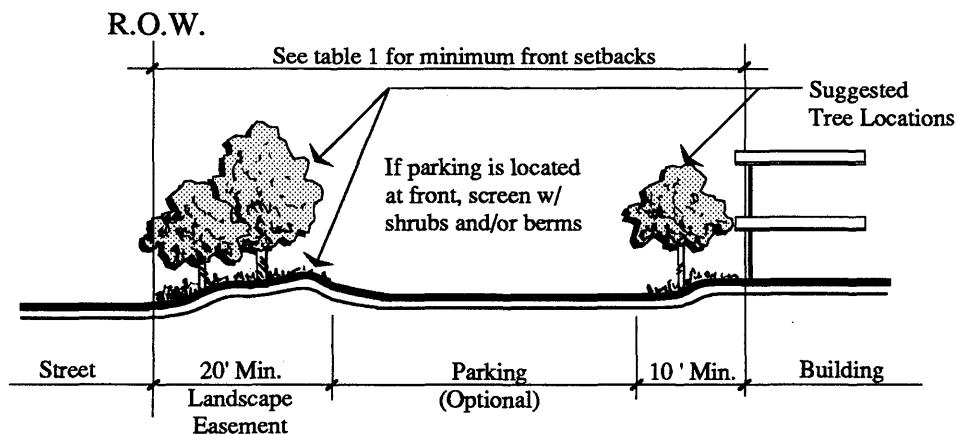
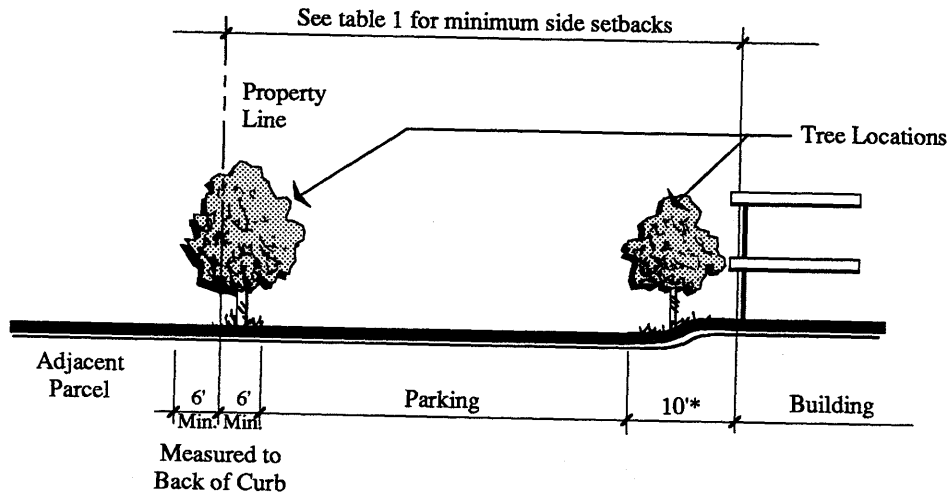


Figure 3.2  
Setback Requirements: Front



\*Required within the City designated Light Industrial and Commercial districts

Figure 3.3  
Setback Requirements: Side

3.4.2 All site grading shall meet the following standards:

Use Areas:	Min. Slope	Max. Slope
Lawn Area	2%	25%
Landscape Areas	2%	25%
Parking Lot	2%	4%
Driveways	2%	5%
Pedestrian Pavements (Large Plaza Areas)	1%	3%
Pedestrian Pavements (Walkways)	2%	8%

3.4.3 When required due to site constraints, the use of city-approved retaining walls is acceptable. Selections for materials and finishes also must be city-approved.

3.4.4 Grading operations which minimize site disturbance insofar as possible and conform with existing topography, are encouraged.

3.4.5 All development plans submitted for city review and approval shall provide an erosion and sediment control plan including, when applicable,

**3.4.5** All development plans submitted for city review and approval shall provide an erosion and sediment control plan including, when applicable, specific measures to protect waterways from erosion and debris during construction. Such measures shall include, but not necessarily be limited to: seeding of graded areas, watering during site disturbance activities to reduce wind erosion, and use of hay bales and filter cloth to prevent siltation of off-site stream courses.

**3.4.6** In order to prevent any spilled materials from entering the storm drainage system, grading and drainage for areas utilized for handling and storage of chemicals shall be designed to provide an intermediate containment area.

**3.4.7** Consistent with the City of Roseville's drainage standards, surface drainage must be controlled within the property lines of each individual parcel unless otherwise authorized by the city.

**3.4.8** Drainage solutions which conform to the general character of the land form and minimize change of the existing topography are encouraged.

### **3.5 Fencing and Screening Guidelines**

The following guidelines address the use and placement of fencing and other screening elements.

**3.5.1** Storage related screen walls are to be, at minimum, of a height equal to that of the materials or equipment proposed for storage.

**3.5.2** Fences and walls are to be constructed of materials compatible with the building architecture. Galvanized chain link fencing shall be vinyl clad and, if required in areas visible from adjacent developed properties, parking areas, public streets and walkways, shall be screened with trees, shrubs and/or vines.

**3.5.3** Trees, shrubs, vines, earth forms and solid fencing, or a combination thereof, shall be used to screen service areas.

**3.5.4** Security fences shall maintain a minimum of six feet in height, as measured from grade on whichever is the higher side.

### **3.6 Storage Area**

The following guidelines are intended to ensure the proper and efficient handling of storage materials and that all stored materials will be screened

**3.6.1** Any article, goods, material, machine, equipment, vehicle, trash or similar items to be stored other than in an enclosed, covered building shall be screened with planting and/or berming to shield views from public streets, adjacent properties, parking areas or pedestrian walkways. Specific site conditions shall be considered in determining appropriate screening methods on a parcel by parcel basis.

### **3.7 Loading and Service Areas**

The following guideline is intended to encourage the design of loading and servicing areas in a functional and aesthetically acceptable manner.

**3.7.1** Loading, vehicle storage, and/or servicing facilities and areas shall be screened with a combination of trees, shrubs, vines, earth forms and/or solid fencing to screen service areas from public streets and building entries, and shall be designed as an integral part of the building design and marked appropriately. Specific site conditions shall be considered in determining appropriate screening methods on a parcel by parcel basis.

### **3.8 Outdoor Refuse Collection Areas**

The following guidelines are intended to ensure that refuse containers will be effectively screened from view, located to provide convenient access and designed to withstand normal wear and tear and minimize wear on the facilities and site.

**3.8.1** A refuse enclosure is required for each building or business. In multi-tenant facilities, refuse enclosures must be provided as consistent with the City of Roseville refuse enclosure requirements.

**3.8.2** Refuse collection areas must be visually screened with a six-foot high enclosure. Materials should be building-compatible and of suitably durable construction to withstand the normal wear of trash collection operations. Redwood fence material and wooden gate material are not considered acceptable.

**3.8.3** A minimum of one refuse enclosure or approved refuse receptacle shall be constructed for each parcel.

**3.8.4** Collection areas must be located to provide convenient access for refuse collection vehicles and minimize on-site refuse vehicle traffic. In order to avoid deterioration of paving by collection operations, reinforced concrete paving is required at trash enclosure entries or sites. (see Figure 3.4, Typical Trash Enclosure) Also, three-foot high, six-inch diameter metal posts are required at the rear interior wall of enclosure to impede enclosure wall damage.

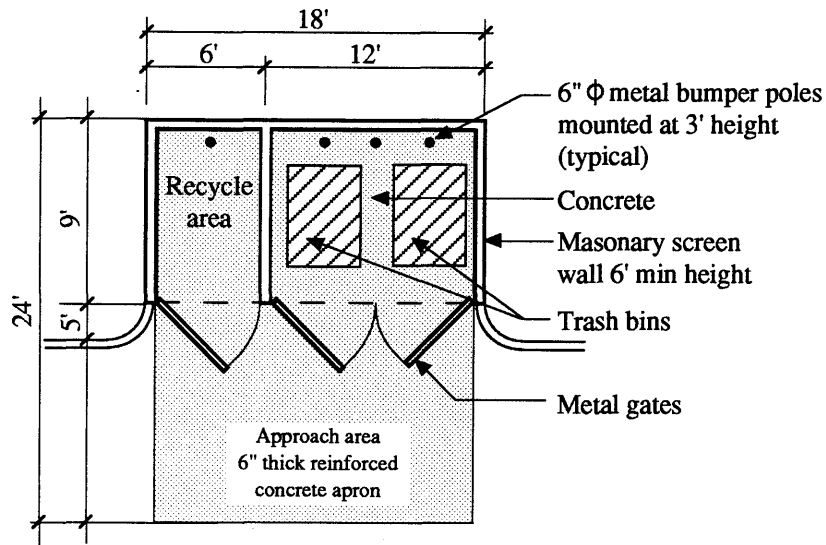


Figure 3.4  
Typical Trash Enclosure

3.8.5 Signs indicating no parking should be located on gates and approach areas.

### 3.9 Circulation and Parking

The following guidelines are intended to encourage the design of safe and efficient on-site circulation and parking areas. The guidelines address pedestrian service and emergency vehicles as well as employee and business vehicles.

3.9.1 Internal vehicular circulation within individual parcels should be designed in a pattern which facilitates passenger loading.

3.9.2 Sight lines shall be maintained at all intersections per City of Roseville standards. Figure 3.5, Vehicular Sight Lines, illustrates the minimum distances and planting requirements at intersections.

3.9.3 Employee parking areas should be consolidated and shared among adjacent uses where feasible to facilitate ridesharing. Common access drives should be used where feasible.

3.9.4 Parking should be controlled and allowed in designated parking spaces only. Parking other than customer or visitor parking, is encouraged to be located on the side or rear yard areas of the parcel.

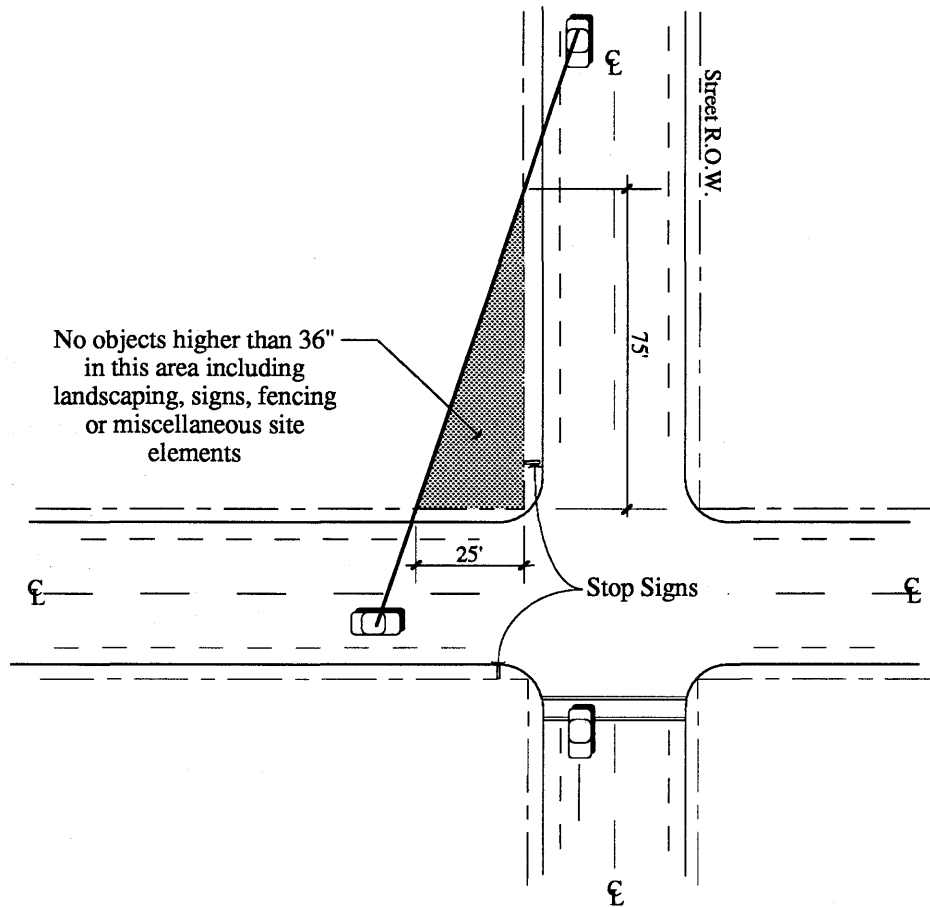


Figure 3.5  
Vehicular Sight Lines

**3.9.5** In instances where the elevation of on-site surface parking exceeds the height of 18 inches above the highest top of curb elevation of the immediately adjacent street curb, the parking area shall be screened by shrub planting not less than two feet above the elevation of the parking area. (see Figure 3.6, Required Screen for Elevated Parking)

**3.9.6** The number of on-site parking spaces shall be based on the City of Roseville Zoning Ordinance requirements.

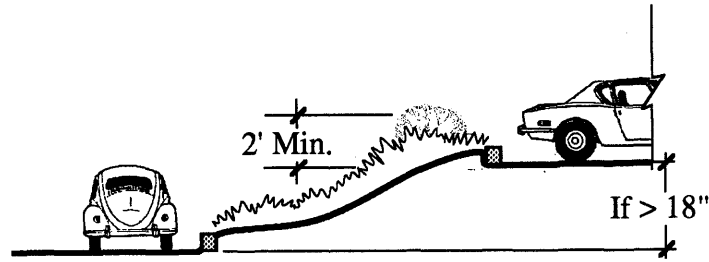
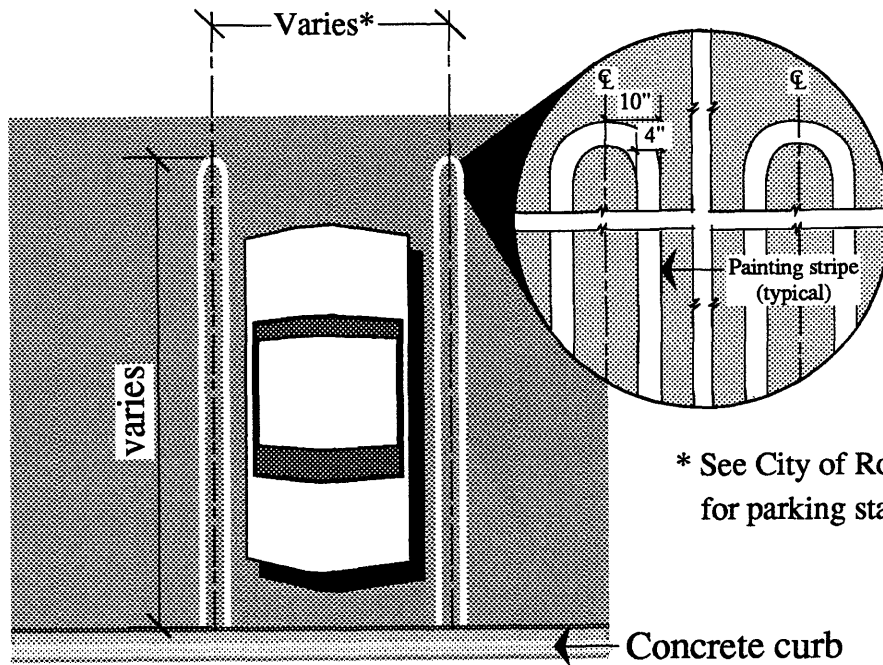


Figure 3.6  
Required Screen for Elevated Parking

3.9.7 Continuous poured-in-place concrete curbs shall be provided at the perimeter of planted areas within parking lots to prevent vehicular intrusion. All parking spaces must be marked as specified in Section 26.09, Off-street Parking Requirements; City of Roseville's Zoning Ordinance. (see Figure 3.7, Parking Lot Striping Standards)



\* See City of Roseville standards for parking stall widths

Figure 3.7  
Parking Lot Striping Standards

### **3.10 Handicapped Access**

**3.10.1** Ramps for the handicapped shall be provided for all handicapped parking spaces at pedestrian drop-off and pick-up points. Provisions for handicap access shall be designed consistent with Federal and State handicapped requirements.

**3.10.2** Parking spaces designated for the handicapped shall be provided near buildings to conform to State Building Code-Title 24 State of California, 1982.

### **3.11 Emergency Access**

Provisions and requirements for emergency vehicle access, including fire, ambulance, and security shall be incorporated into parking and service area design.

### **3.12 Pedestrian Access**

Pedestrian access from the adjoining public street shall be provided by linking parking lot pedestrian walks with the meandering pedestrian walkways within the public rights-of-way. The locations of pedestrian walkways should be aligned and linked with public transit turn-outs along the right-of-way.

## **4. Landscape Guidelines**

### **4.1 Purpose**

The landscape guidelines address the following characteristics of landscape development for the North Roseville area:

- Climate Control
- Screening
- Setting and Visual Quality
- Visual Organization
- Outdoor Space
- Orientation

### **4.2 Concept**

The climate in Roseville is a significant factor in determining the landscaping needs for the North Roseville area. Since the Roseville area is naturally an arid region, a xeriscape landscape palette is encouraged to ensure the efficient use of available water. Accordingly, the use of native and compatible species should make up a significant part of the approved plant palette. Non-native species that are adaptable to the area, meet the specific design objectives and are relatively drought-tolerant once established, may be included.

The alleviation of the intense summer heat and glare are the key environmental objectives of the landscape design.

Trees are the most important planting element in the North Roseville area. Trees, in comparison to all other plant materials, provide the greatest effectiveness in design benefit versus overall water requirements. Multi-functional objectives should generally be considered in determining the placement of trees. For example, a massing of trees can provide simultaneous screening, edge definition, and shade.

Other objectives include reinforcing the overall continuity to the North Roseville area with a consistent peripheral edge treatment, providing orientation for vehicular, pedestrian and other users within the area, screening of undesirable views, framing of desired views and elements, and articulating distinct functional areas.

Surface planting should generally be limited to low growing shrubs or groundcovers. The use of irrigated turf should be limited to areas used frequently by pedestrians and areas adjacent to primary intersections.

### **4.3 General Guidelines**

1. In order to provide a consistent landscape character, plant lists in Appendix A are recommended.
2. The size of trees to be installed shall be predominantly 15-gallon in size or larger. The use of balled and burlap trees is acceptable provided that they are installed during the wet months of mid- to late winter.
3. Tree and shrub spacing shall generally conform with the minimum spacing indicated in the plant lists in Appendix A.
4. If a parcel plan contains designated areas reserved for phased future development, areas held in reserve need not be fully landscaped if grading operations are controlled to prevent destruction of existing vegetation. Those reserve areas within the limits of the grading area must be landscaped using the recommended plants and/or seed mixtures as indicated in Appendix A - Grasses for Meadows.
5. All landscape plans must be reviewed and approved by the parks and recreation and planning departments.
6. Landscape berming generally should be avoided in medians.
7. The toe of berms within landscape areas shall be typically set back three feet from walkways, streets or other hardscape surfaces in order to prevent surface drainage across hardscape.
8. Interior drains shall be incorporated in median planters and located on the inside face of curb in order to intercept surface run-off from median.

### **4.4 Irrigation Guidelines**

1. All landscape irrigation systems shall be designed by a Landscape Architect or licensed irrigation systems designer.
2. All landscape areas, other than non-development areas, shall be fully irrigated with an automatically controlled underground irrigation system. The system shall be valved separately to allow irrigation of turf, trees and shrubs, groundcovers, and vines per their particular water requirements.
3. A meter shall be installed to meter irrigation water to each parcel.
4. Each irrigation service point of connection shall have a reduced-pressure-type backflow prevention device as approved and installed per

city requirements. Backflow units shall be located on the parcel side of the landscape corridor earth forms or screened with shrubbery so as to not be visible from the adjacent street or walkways.

5. The irrigation system shall be designed to avoid spray onto buildings and other non-planted areas.

6. The irrigation system shall be designed to prevent overflow onto pedestrian walks and vehicle driveways or parking areas.

7. Drip irrigation systems are encouraged, especially in small container planting.

8. No irrigation nozzles shall be installed on risers next to walks, streets and/or pavement. Irrigation heads, if required, in these locations shall be high-pop models and installed less than one inch above finish grade.

9. Water consumption calculations shall be provided for all landscape areas. (see Appendix D for example)

10. Landscape setbacks and corridors shall be designed and installed to facilitate use of reclaimed water. Reclaimed water transmission lines will be required in landscape setbacks to service entire North Roseville area. Sizing of these lines is to be done by applicant. Total water demand for landscape easements is required as soon as possible to assist sizing of water tap at Foothills and Pleasant Grove.

11. Electrical service points for irrigation controllers and landscape lighting must originate from a metered service point at a location as determined by the City Electrical Department.

#### **4.5 Landscape Maintenance Guidelines**

A landscape maintenance program, prepared by a landscape architect in association with a horticulturist, describing the landscape characteristics and design intent is encouraged for each parcel. The landscape maintenance program should specify the design intent and the necessary technical requirements to maintain installation at optimum condition.

#### **4.6 Streetscape Design and Special Area Guidelines**

##### **4.6.1 Primary and Secondary Landscape Corridors**

The intent of the landscape corridor elements within the North Roseville area is to create an overall design framework for the overall area

development. The primary and secondary landscape corridors serve the purpose of defining the limits of the area and setting it apart from the surrounding areas. With the consistent use of the suggested plant materials in the configurations as illustrated, overall design continuity and identity can be achieved. The corridors will also be used to articulate the diverse land uses and to some extent will serve to diminish problems of incompatibility between adjacent but disparate uses. The corridors will also facilitate orientation throughout the North Roseville area.

#### **4.6.2 Primary Landscape Corridors**

As described in Section 2.1, Streets, special setbacks have been established for the major roadways running through the North Roseville area. For the established 50-foot setback, the recommended streetscape development concept, as shown in Figure 2.2, Primary Arterial Landscape Corridor, is a "structural" planting treatment using a double row of columnar trees such as Italian Poplars adjoining the entire length of the corridor, further augmented by similar-formed trees planted along the median. Subordinate trees should be located at curb cuts and entries as accent planting. A secondary function of the structural planting will be to provide shade along sidewalks.

#### **4.6.3 Secondary Landscape Corridors**

A 35-foot setback has been established for the secondary landscape corridor. Dominant and subordinate shade trees are proposed for this location. The dominant trees are to be planted between the curb and sidewalk while the subordinate trees are to be planted between the sidewalk and buildings and/or parking. The lesser setback and a lesser intensity in planting is intended to reinforce the hierarchal character of the two roadway types. Secondary landscape corridors will less frequently be used to differentiate disparate land uses.

#### **4.6.4 General Streetscape Standards**

1. Dominant and subordinate trees for the two categories of landscape corridors are listed as follows:

##### **Primary Landscape Corridor**

Dominant Tree	-- <i>Populus Nigra</i> 'Italian Poplar'
Subordinate Trees	-- <i>Pyrus calleryana</i> 'Aristocrat'
	Aristocrat Pear
	-- <i>Cedrus deodara</i> --'Deodar Cedar'

## Secondary Landscape Corridor

Dominant Tree	-- <i>Platanus acerifolia</i> 'Bloodgood' London Plane Tree
Subordinate trees	-- <i>Liquidambar styraciflua</i> American Sweet Gum -- <i>Sequoia sempervirens</i> Coast Redwood

2. Shallow rooted trees (as identified in Appendix A) planted within 10 feet from curb and gutter or sidewalks should be installed with deep root barriers such as manufactured by "Deep Root Corporation".

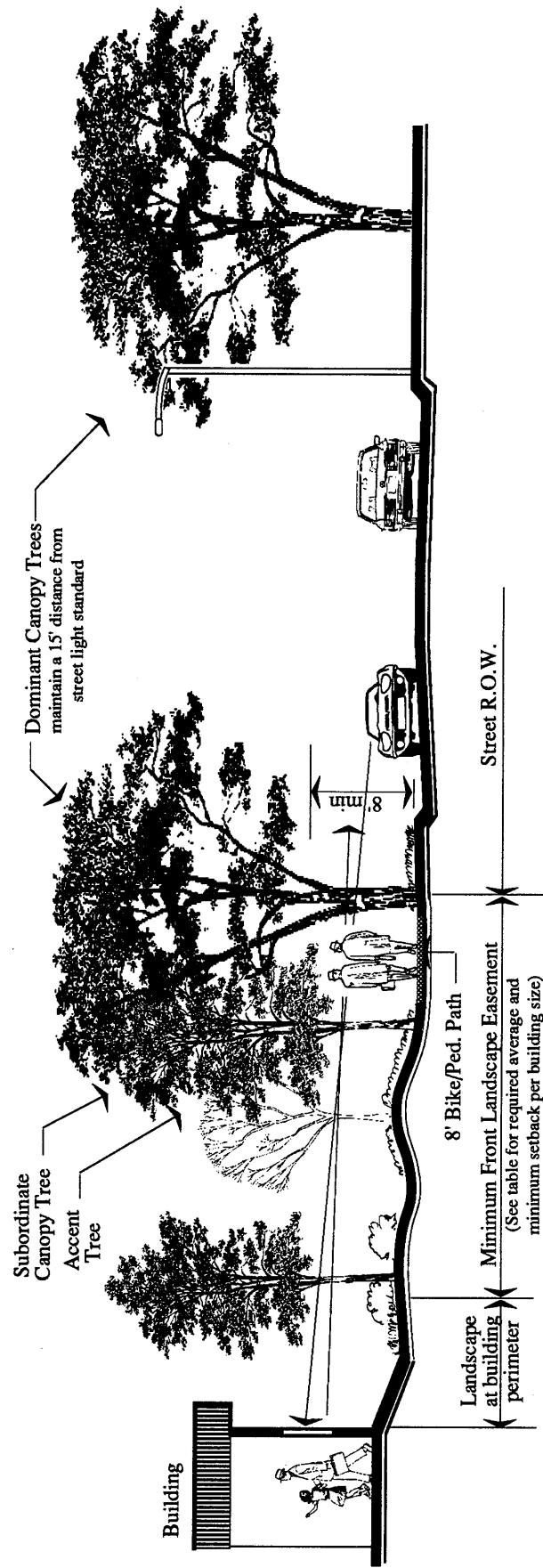
3. Earth mounds with a four-foot maximum height may be provided along the landscape corridor. Lawn is allowed within the streetscape zone but should be limited primarily to the area immediately adjacent to the street side of the sidewalk. The objective is to generally limit lawn areas as a water conservation measure. Low shrubs (two to four feet high) and groundcover may be massed in natural patterns behind the sidewalk to provide visual variety. The combined mature shrub and earth mound height are not to exceed five feet above the lowest curb. The intent of the shrubs and mounding is to provide visual interest but not to screen distant views. Accent trees are also to be used to provide seasonal interest at various points along the landscape corridor, but especially at driveway entry points and at intersections. (see Figure 4.1, Conceptual Streetscape Section and Figure 4.2, Conceptual Streetscape Plan)

The plants used for shrub massing may vary from one mass to another. However, the groundcovers are to be selected from the following list to maintain a consistent appearance:

<i>Cotoneaster dammeri</i>	Lowfast Cotoneaster
<i>Juniperus horizontalis</i> cvs.	Creeping Junipers
<i>Rosmarinus officinalis</i> 'Prostratus'	Dwarf Rosemary
<i>Trachelospermum jasminoides</i>	Star Jasmine

3. Landscaping shall be designed, installed and maintained to meet requirements of the Roseville Municipal Code 14.09 Water Conservation. (see Appendix E for reference document)

4. The lower branches of deciduous trees within designated landscape corridors shall be pruned and trained to an eight-foot minimum above the highest curb grade to allow views through the trees at pedestrian level. (see Figure 4.3, Street Tree Pruning)



Note: Dominant and Subordinate Trees are specified in Appendix A.

Figure 4.1  
Conceptual Streetscape Section

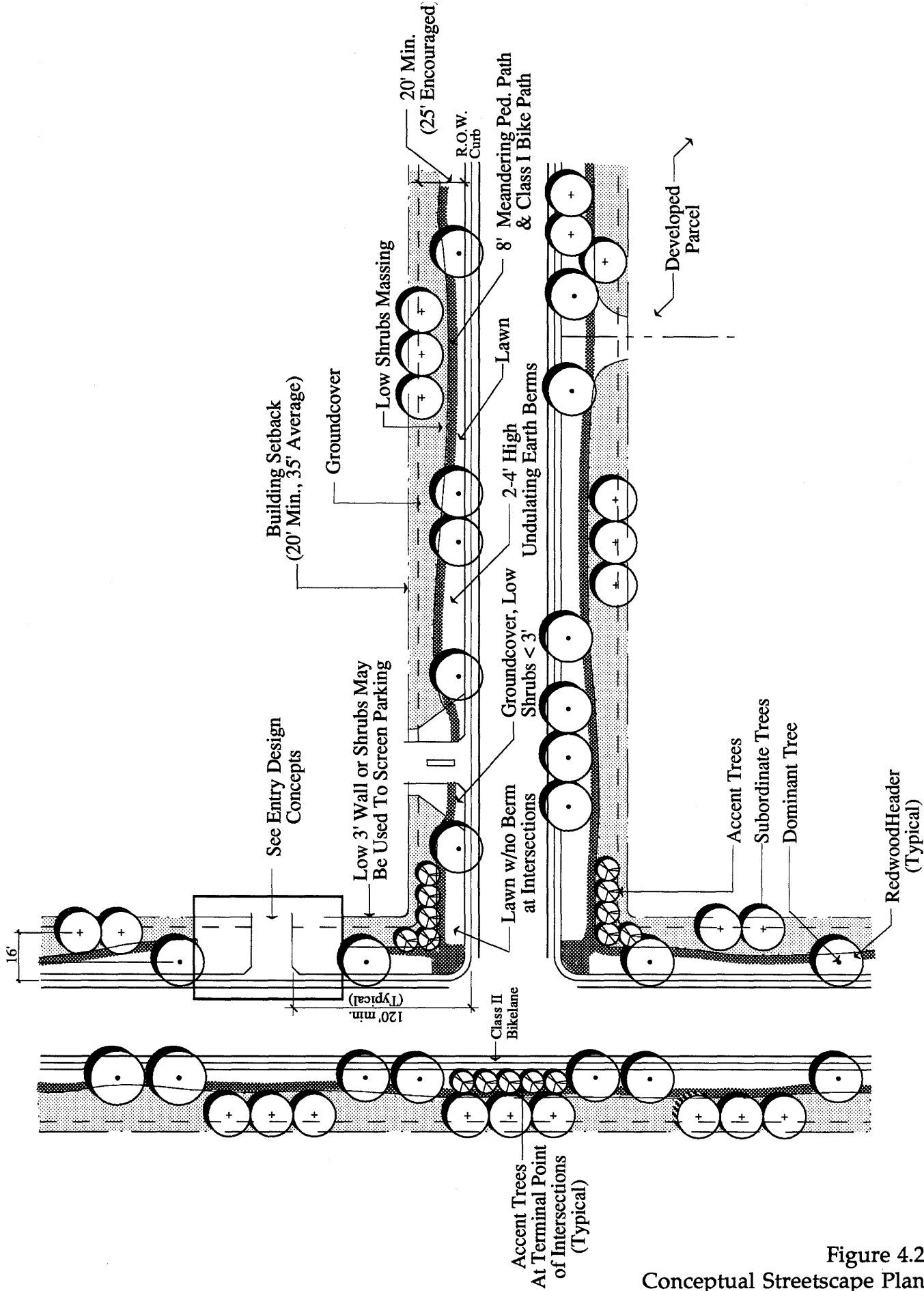


Figure 4.2  
Conceptual Streetscape Plan

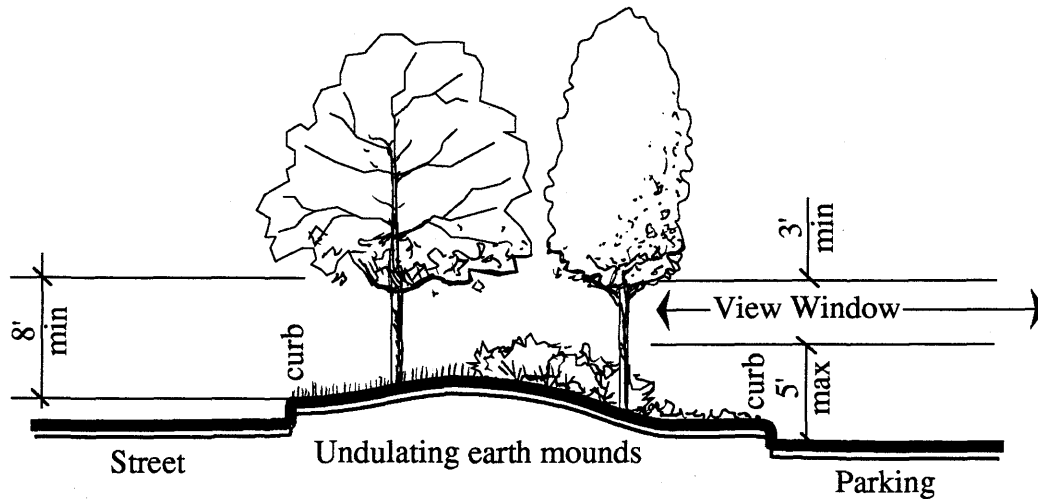


Figure 4-3  
Street Tree Pruning

5. The lower branches of deciduous trees within designated landscape corridors shall be pruned and trained to an eight-foot minimum above the highest curb grade to allow views through the trees at pedestrian level. (see Figure 4.3, Street Tree Pruning)
6. The placement of trees and large shrubs shall be coordinated with the specific setback requirements for utility lines within the public utility easement.
7. In general, sidewalks, groundcovers and shallow root planting are permitted above utility trenches as long as they do not interfere with access to above ground equipment.
8. Tree spacing and locations must be consistent with the minimum clearance standards for lighting standards as specified in the Roseville Electrical Department specification number 800-119.
9. Planting distance from electrical equipment must conform with electrical department minimum clearance standards.

10. Maintenance of the landscape corridors and medians within the North Roseville area will be the responsibility of the property owners.

#### **4.6.5 Special Area Guidelines**

##### **4.6.5.1 Landscape Adjoining Residential Uses**

For properties adjoining existing or proposed residential areas, a 35-foot landscape easement is required. The easement will be located on the industrial or other non-residential property side. Installation and maintenance of the easement is the responsibility of the subject property owners. This easement is intended as a visual buffer and should be planted with evergreen conifers as illustrated in Figure 2.4, Landscape Buffer Setback at Residential Area.

#### **4.7 Parcel Specific Guidelines**

All areas within a given parcel that are not specifically utilized for building area, parking, truck loading, storage or refuse collection shall be landscaped. Allowable uses within landscape areas include:

- planting.
- walkways, patios, entry plazas and other pedestrian surfaces.
- driveway access to public streets.
- public utilities elements.
- exterior signs.
- lighting and street furniture.
- erosion control surfaces.

All landscaped areas are to be improved and developed. No portion of a project site may be left unimproved and not landscaped except those areas specifically identified as phased future development areas.

The guidelines have been organized to address three typical landscape zones. The zones are contiguous and the functions of each zone tend to overlap. However, the designation of individual zone areas is useful in defining specific objectives for each area. The zones include:

- The individual parcel entry areas on public streets.
- The planting areas within and along the parking lots.
- The area adjacent to buildings and pedestrian areas leading to buildings.

The general relationship of these zones on a typical parcel is schematically illustrated in Figure 4-4, Landscape Zones.

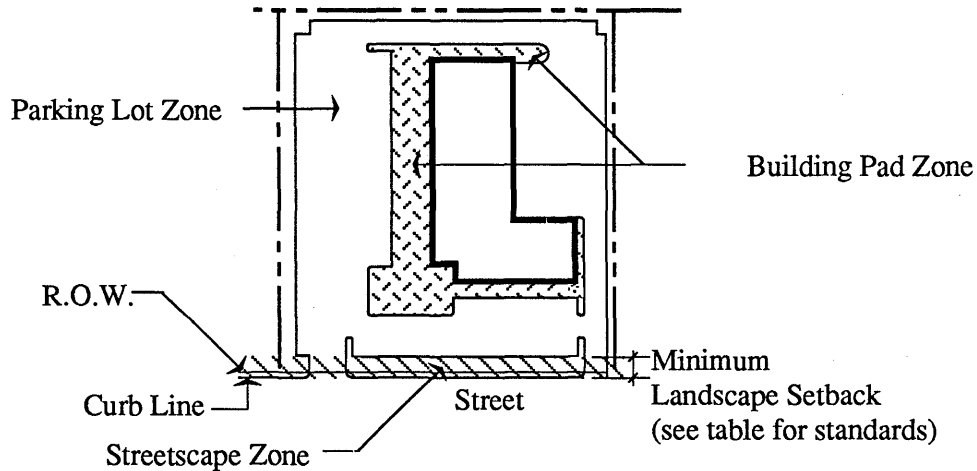


Figure 4.4  
Landscape Zones

#### 4.7.1 Parcel Driveway Entry Concepts & Guidelines

1. Parcel entry driveways are intended to maintain design consistency throughout the plan area while providing distinct entry statements for individual parcels. Either Option 'A' or 'B' may be used as shown in Figure 4.5, Driveway Entry Concepts.
2. One species of accent tree for all entries in each parcel is encouraged. Different accent tree species may be used for different parcels to reinforce distinct parcel identity.
3. A six-foot wide entrance median is encouraged at main entries to separate ingress and egress driveway traffic. An accent tree and/or focal point is suggested for each entry median as shown in Figure 4.5, Driveway Entry Concepts. Low growing shrubs and/or groundcover (less than three feet high) are suggested to compliment focal features.
4. Locations for signage and lighting are as shown in Figure 4.5, Driveway Entry Concepts.

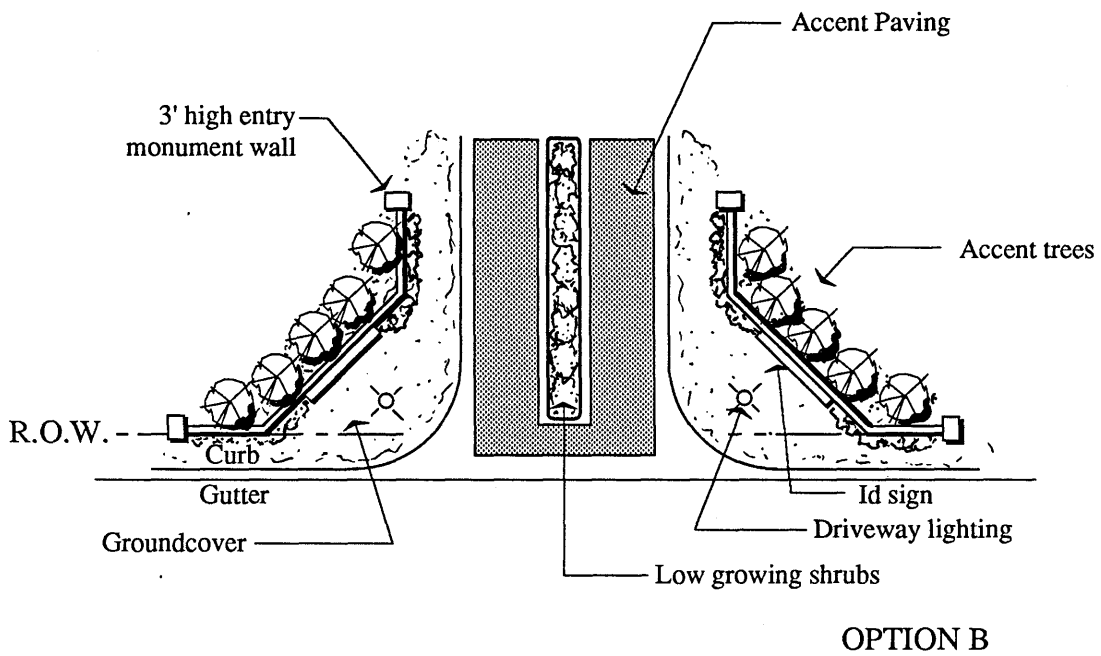
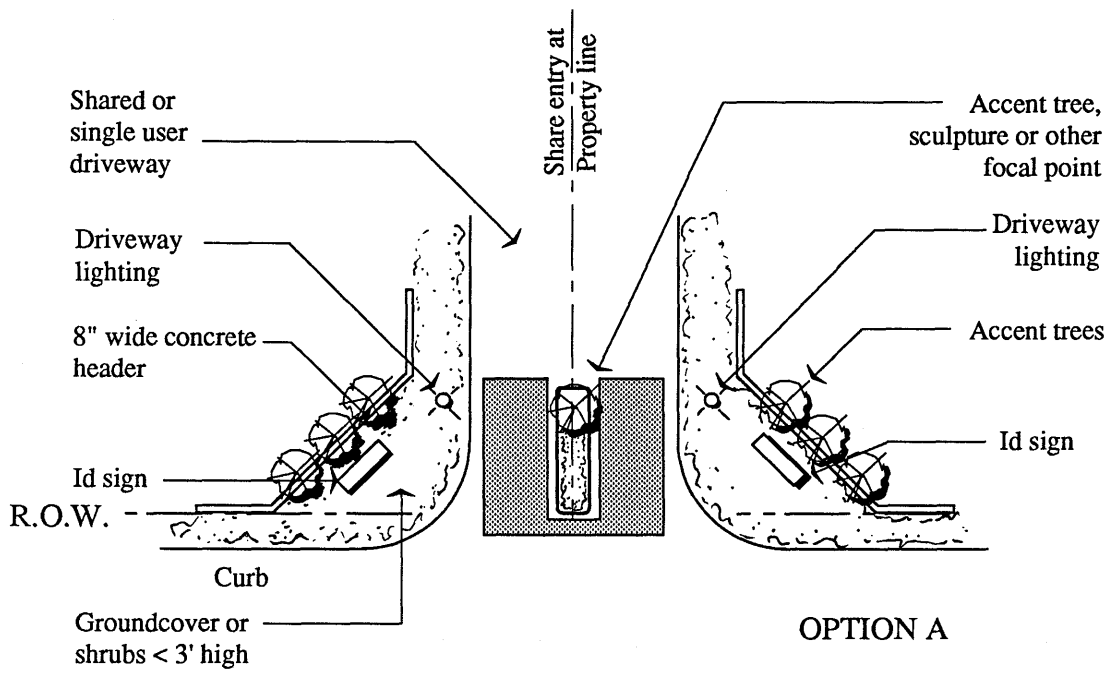


Figure 4.5  
Driveway Entry Concepts

5. Entry paving within the 20-foot minimum landscape corridor as shown in Figure 4.6, Special Entry Paving Concept (Option A), may use an approved special paving material including interlocking concrete pavers, brick pavers or approved others.

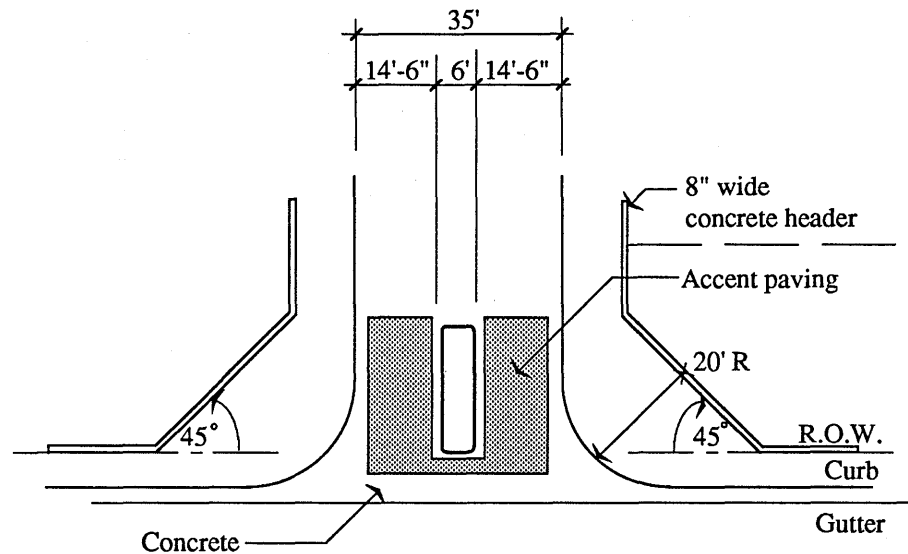


Figure 4.6  
Special Entry Paving Concept (Option A)

6. Entry lighting is suggested for each driveway and located as shown in Figure 4.5, Driveway Entry Concepts.

7. Low shrubs or groundcover (less than three feet high) may be located immediately adjacent to the driveway as shown in Figure 4.5, Driveway Entry Concepts.

#### 4.7.2 Parking Lot Zones

Large expanses of asphalt required for parking creates a situation in which trees become the single most important landscape element. Shrubs should be planted to help break up large spaces and screen undesirable views. Plant selections for this area should be fast-growing and durable.

#### **4.7.2.1 Trees**

There are two functionally distinct recommended tree groups for parking areas:

##### **1. Shade Trees:**

Suggested shade trees have been selected for their round, high branching form and relatively fast growth habits which enable broad casted shadows. Generally, deciduous trees are recommended for parking lot areas in that they allow winter sun. (see Figure 4.7, Parking Lot Planter Options) Shade trees should be selected from the Recommended Shade Trees for Parking Lots List. (see Appendix A)

##### **2. Accent and Delineator Trees**

Accent and Delineator Trees may be used to orient traffic, highlight entrances, frame vistas and provide backdrop to parking bays. They can be taller and more erect than the shade trees or they can contrast in foliage color. (see Figure 4.7, Parking Lot Planter Options) Trees should be selected from the Recommended Accent Trees List. (see Appendix A)

#### **4.7.2.2 Shrubs**

Shrubs should be selected on the basis of drought tolerance and ability to withstand user wear. They generally should be low to medium in height (two to four feet high) and located in accordance with vehicle sight line requirements.

The plant palette should be simple with emphasis on massing rather than individual shrubs.

#### **4.7.2.3 Groundcover**

Groundcover selections must be able to withstand occasional foot traffic. Lawn is advisable where there is more intensive pedestrian traffic.

Decorative paving is recommended for surfaces where frequent pedestrian traffic occurs. (see Appendix A - Recommended Shrubs Groundcover and Vines List)

#### **4.7.3 Shade and Planter Requirements for Parking Areas**

The objectives for shading requirements are to provide adequate planting space for trees, to shade at least 50% of paved parking areas during

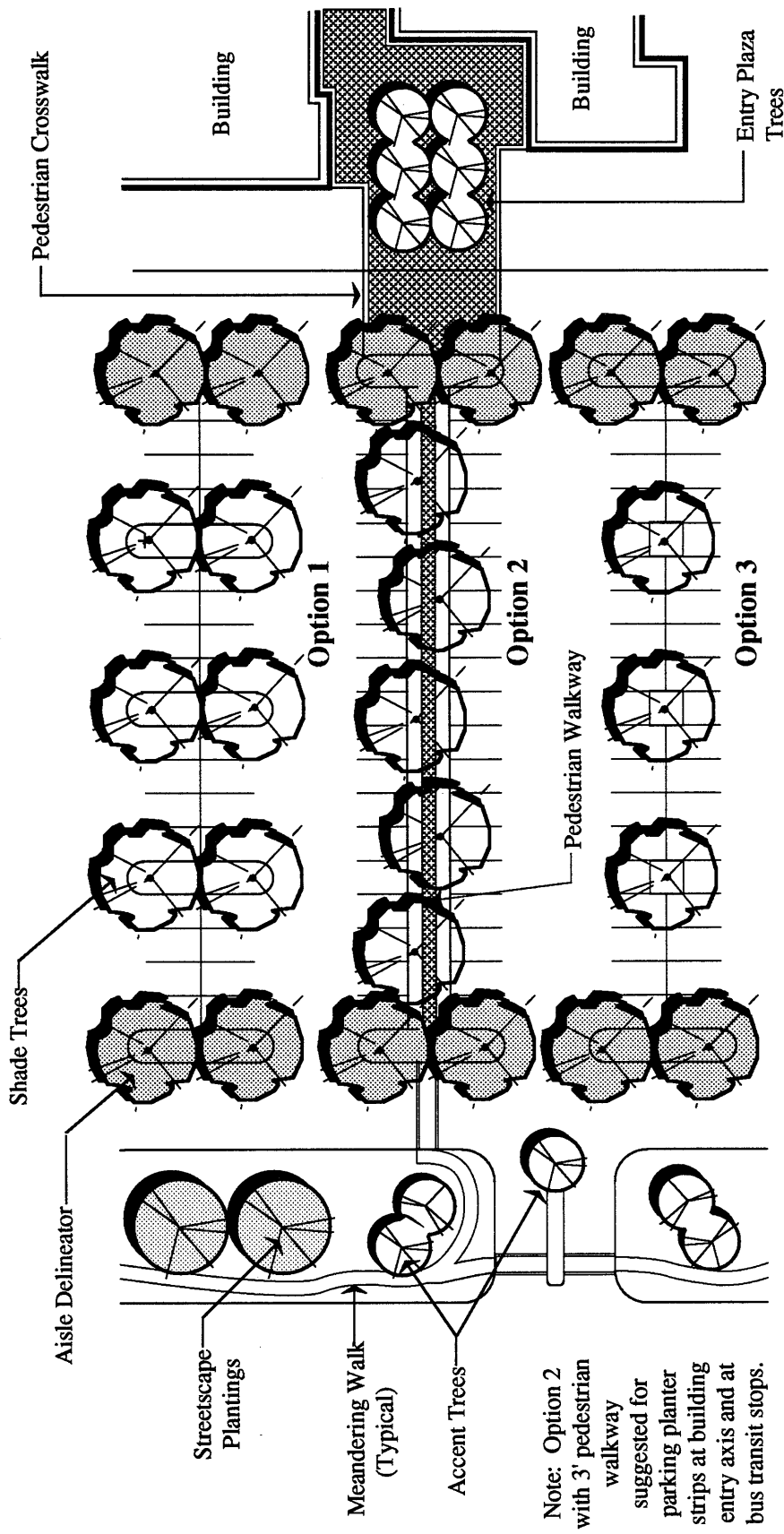


Figure 4.7  
Parking Lot Planter Options

summer months, and to enhance the overall appearance of paved parking areas.

#### 1. Planter Widths

Tree planters are to be a minimum of six feet wide with a minimum area of 36 square feet as indicated in Appendix A, Shade and Accent Trees for Parking Lots.

#### 2. Shade Determination

Trees shall shade at least 50% of the paved parking areas as measured at the 15 year maturity period for trees and during mid-summer sun-angle conditions. The shade area for each of the selected trees is given in Appendix A, Recommended Shade Trees for Parking and Recommended Accent Trees. The amount of shading achieved is determined with partial credit given for trees at the periphery of the parking area and full credit given for trees within the interior.

An example of shade coverage is illustrated in Figure 4.8, Parking Lot Shading Coverage Example. (see Appendix C for sample of shade calculations)

#### **4.7.4 Building Pad Landscape Zone**

The building pad landscaping zone should accent and enhance the architecture.

1. Plant materials should be selected from the recommended lists provided in Appendix A. The design should, where possible, create outdoor shaded areas at public and employee building entries and rest areas.

2. Handicapped access requirements shall be accommodated according to the State of California and the City of Roseville standards.

3. Deciduous shade trees are encouraged within 30 feet from the east and west sides of buildings to facilitate passive solar energy efficiency by providing summer shade while enabling winter solar heat gain.

4. Accent paving is encouraged for all entrance plazas and walkways. Untextured or non-embellished concrete is discouraged while smaller or enhanced paver units such as brick pavers, stamped concrete, interlocking concrete or asphalt pavers are recommended.

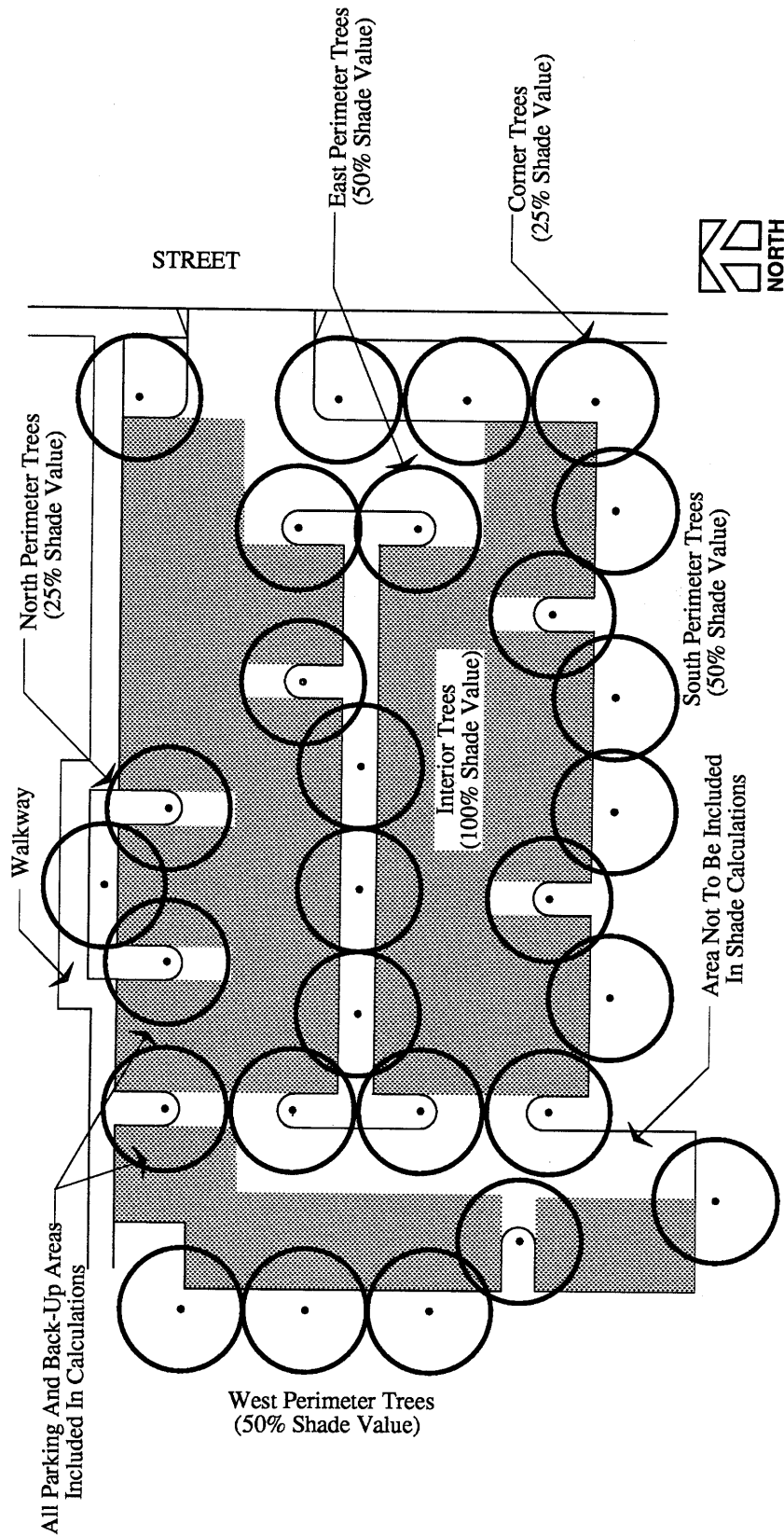


Figure 4.8  
Parking Lot Shading Coverage Example

5. The design, selection and placement of street furniture such as benches, trash/ash receptacles, planters, kiosks, bollards and drinking fountains should be carefully coordinated between building and site design requirements.
6. Drainage shall not be allowed to flow across walkways or plazas.
7. Coniferous screen trees may be used to screen unsightly areas as illustrated in Figure 4.9, Screening Concepts. Care must be taken not to block desired off-site views.

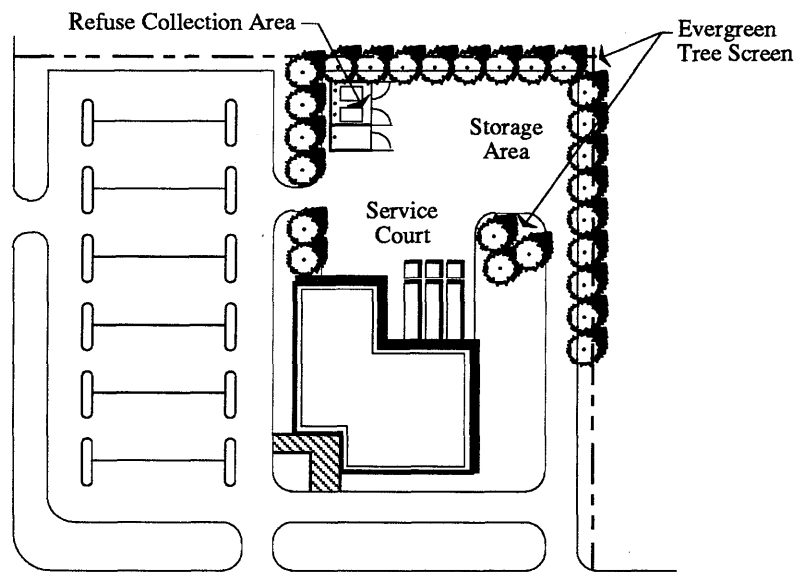


Figure 4.9  
Screening Concepts

## **5. Architectural Guidelines**

### **5.1 Purpose**

The architectural guidelines are intended to promote high standards of architectural design within the North Roseville area and contribute to an overall sense of continuity and compatibility among the area's architectural elements.

### **5.2 General Guidelines**

1. Passive solar-design features are encouraged.
2. Visitor building entries shall be readily identifiable and accessible to the first-time visitor.
3. Building entries shall be emphasized by such accent features as:
  - a. Embellished entry materials and details.
  - b. Plazas.
  - c. Special planters and plantings.
  - d. Architectural walls, columns.
  - e. Other approved accent elements.

### **5.3 Building Height, Massing and Form**

1. Maximum building height shall be 50 feet or three stories, whichever is the lesser of the two. Exceptions to height limits up to 25 feet may include antennas, enclosures for mechanical equipment, and other appurtenances if appropriately scaled to building and site. Further exception to the 25-foot limit will require city approval.
2. Massive buildings with unvaried and unrelieved facades are discouraged. Building facades may be enhanced with the following design considerations:
  - a. Fragmenting single structures into smaller multiple structures, as with campus-type facilities.
  - b. Using textural and color treatments to provide surface variation.
  - c. Clustering small-scale elements such as planter walls around major wall surfaces.

- d. Creating of shadow lines with use of cantilevered or overhanging structural projections.
  - e. Using fenestration to break up wall surface mass and height and provide surface variation.
  - f. Staggering and interrupting the wall alignment with step-backs, pocket recesses and projections.
3. Thematic structures, building, and roof forms intended as advertising shall not be allowed.

#### **5.4 Materials**

1. One unifying material should be selected and expressed with its own natural integrity. Materials which convey permanence, substance, timelessness, and restraint are suggested.
2. Low maintenance should be a major consideration in material selection.
3. Pre-engineered metal buildings and industrial-type structures featuring predominantly painted exteriors are strongly discouraged for properties designated for light industrial or commercial uses. Owners considering metal-sided buildings, or predominantly painted exterior treatments should consult the City of Roseville in the conceptual design stages.
4. Drainage gutters and down spouts on building front facades must be internal.

#### **5.5 Mechanical Equipment Screening**

All roof-mounted mechanical equipment shall be screened from view by parapet walls or screening. Screens shall be attractive in appearance and reflect or complement the architecture of the building. The view from adjacent properties and public rights-of-way must be considered in the designing of screens.

## **6. Sign Guidelines**

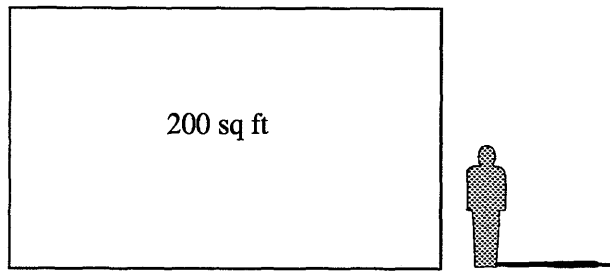
### **6.1 Objective**

The objective of the Sign Guidelines is to ensure that the exterior signs for each facility contribute to the aesthetic integrity of the North Roseville area.

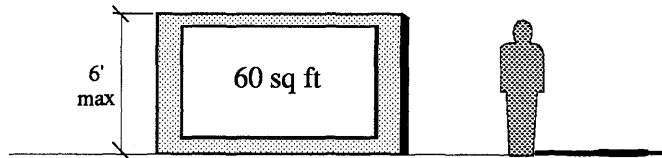
These sign guidelines are intended to be generally applicable to any and all development proposals occurring within the North Roseville area. As these guidelines are not intended to replace but rather support and augment the City's existing sign ordinance, it will be the responsibility of the developer to prepare and submit documents which are generally consistent with the provisions of these Guidelines while ensuring compliance with the existing Sign Ordinance.

### **6.2 General Standards**

1. A Planned Sign Permit Program is required as a part of the development submittals. The program should contain sufficiently detailed renderings to show sizes and placements of proposed signs, proposed materials and color sample boards, and preliminary details of sign construction.
2. Total allowable sign area per tenant for free standing signs shall be based on the amount of tenant frontage along each street abutting the parcel up to a maximum of 120 square feet. For building signs, a maximum of 20% of building facade or 120 square feet of sign area is allowed per building. Total aggregate of sign area allowed including a combination of one free standing sign and two building signs or one building sign and two free standing signs shall be 200 square feet maximum. (see Figure 6.1, Sign Area Allotments)
3. Building signs shall not exceed the building height or extend above the building parapet or eaves. Free standing signs shall not exceed six feet in height.
4. Signs shall be restricted to tenant identification only, either wall-mounted or free standing, apart from the exceptions described in this section.
5. No rooftop signs shall be permitted.
6. No signs or any other contrivances shall be devised or constructed so as to rotate, gyrate, blink, move or appear to move in any fashion.
7. If signs are integrated with public service devices such as clocks and temperature indicators, the advertising component should be subordinate to the public service feature.
8. No sign shall be attached to exterior glass.



Maximum total allowable sign as per frontage.  
 (can be a combination of two free standing and one building sign, or two building and one free standing sign)



Maximum free standing sign



Maximum building sign

*(drawings not to scale)*

Figure 6.1  
 Sign Area Allotments

9. Proposed sign type face shall be submitted as part of the required Planned Sign Permit Program.
10. For single tenant buildings, only two identification signs will be allowed per street frontage.
11. Each tenant or parcel will be allowed the use of its own logo/logotype for identification. When tenant logo and logotype are used together, the logo and logotype shall not exceed two feet in height (measured capital height). If the logo is used alone, then maximum height of the logo can be increased to three feet. Logotype, however, can never exceed two feet in height. The maximum sign area for an individual sign shall not exceed 60 square feet. The area of a wall sign shall be measured by a rectangle around the outside of the logo and/or logotype. If illuminated, building signs shall be internally illuminated without a halo.

12. Only two multi-tenant identification signs shall be permitted for each multi-tenant building.

13. Off-site signs are not allowed.

### 6.3 Free Standing Signs

1. Free standing signs shall not exceed six feet above grade. No sign shall exceed 120 square feet in area, 60 square feet per face, (two-face maximum), as shown in Figure 6.2, Free Standing Signs.

2. Typically every parcel shall be restricted to one free standing sign which can only be located within the building front setback zone. Additional free standing signs will require city approval.

3. All free standing signs shall have a minimum setback of 20 feet from the public right-of-way.

4. No free standing sign shall be within 50 feet of another.

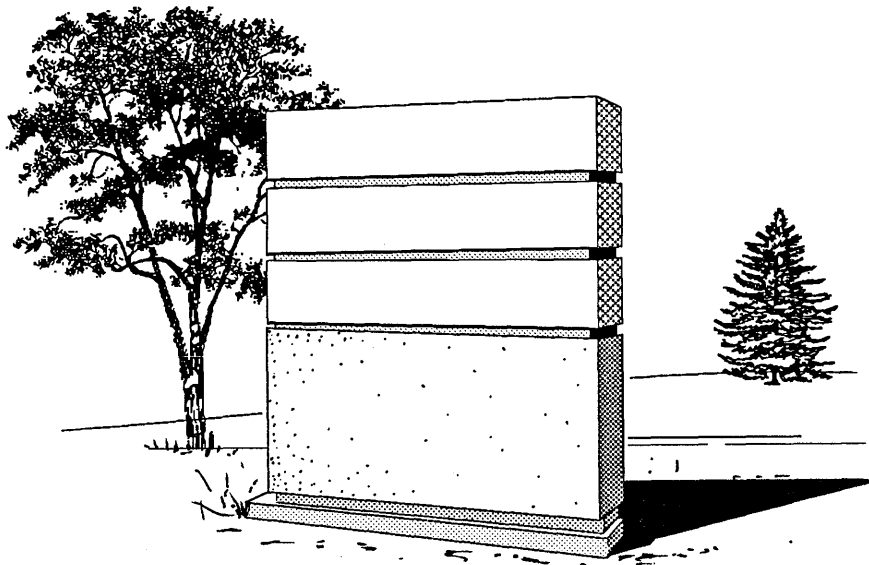


Figure 6.2  
Free Standing Signs

### 6.4 Miscellaneous Signs - Temporary Identification Signs

1. Sale or Lease Sign: One sign, not to exceed 15 square feet in area, advertising the sale, lease or hire of the site will be allowed.

2. Construction Sign: One sign not to exceed 32 square feet in area, denoting architects, engineers, contractor, and other related services will be allowed at the commencement of and during construction. Construction signs must be removed at the time the building is ready for occupancy.

3. Temporary Future Tenant Sign: One sign identifying future tenants will be allowed. Such signs shall not exceed 32 square feet in area. Future tenant signs may not be permitted prior to the issuance of occupancy permits.

# 7. Lighting Guidelines

## 7.1 Objective

The purpose of the Lighting Guidelines is to provide for a safe, functional, visually attractive and coordinated site lighting system. The guidelines apply to parking and driveways, service areas, buildings, pedestrian areas and security. (see Figure 7.1, Lighting Standards)

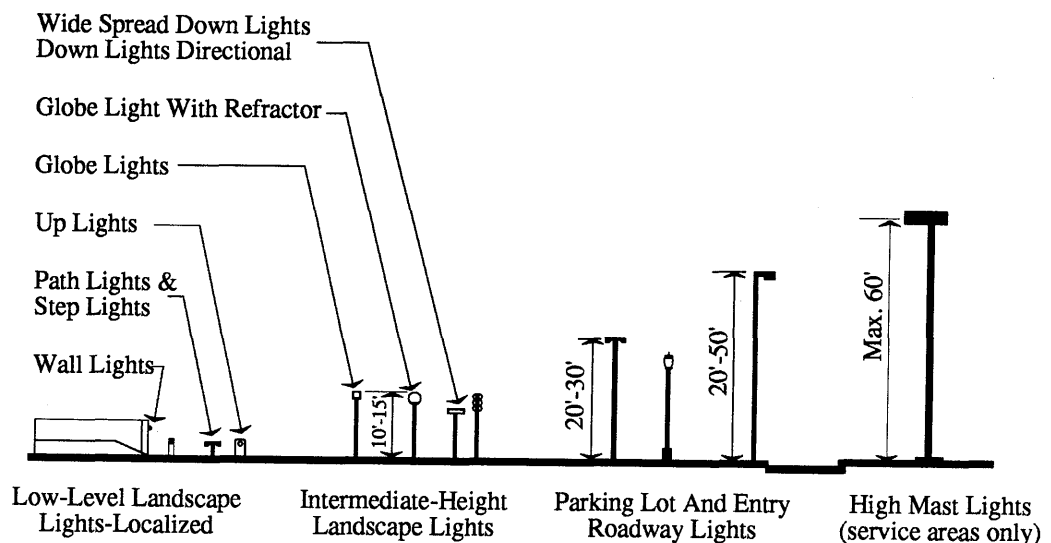


Figure 7.1  
Lighting Standards

## 7.2 General Guidelines

7.2.1 Lighting uniformity is encouraged on each parcel to help reinforce design continuity.

7.2.2 Lights are not to cause glare or excessive light spillage on neighboring sites.

7.2.3 All light fixtures are to be concealed source fixtures except for entry, building and pedestrian-oriented accent lights.

7.2.4 Exterior lighting fixtures are to be selected on the basis of their compatibility with the building fixtures and materials.

### 7.3 Parking and Driveway Illumination

7.3.1 All parking lot and driveway lighting levels are to meet Uniform Building Code and/or city standards whichever is greater.

7.3.2 Parking lot and parcel entry driveway fixtures shall be cut-off type, metal halide extruded aluminum luminaires, 20-foot mounting height, single or double luminaire configuration on square poles.

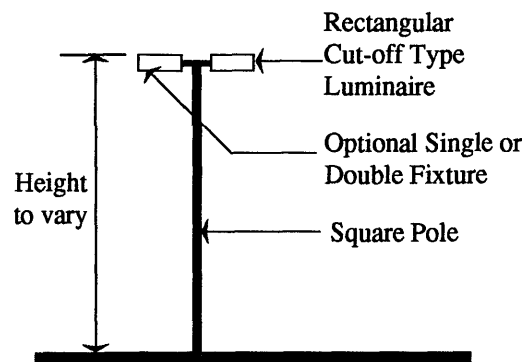


Figure 7.2  
Parking Lot Fixture

### 7.4 Service Area Illumination

No light spillover is allowed outside the service area.

### 7.5 Building Illumination

Lighting standards and fixtures shall be of a design and size compatible with the building and with adjacent areas. Lighting shall be restrained in brilliance and glare should be directed away from adjacent properties and public rights-of-way.

Building illumination and architectural lighting shall be indirectly sourced. For example, "wall washing", overhead down lighting, or interior illumination which spills outside the building is encouraged. Architectural lighting should articulate the building design as well as provide functional lighting for pedestrian safety. Building lighting lamp types may be either metal halide or mercury vapor.

## 7.6 Pedestrian Area Illumination

7.6.1 Lighting for pedestrian areas such as courtyards, patios, and entryways should help articulate the building design while achieving lighting levels to meet the Uniform Building Code and/or city requirements whichever is greater. Lighting fixtures may be cut-off type over-head or bollard types and use metal halide or mercury vapor lamps.

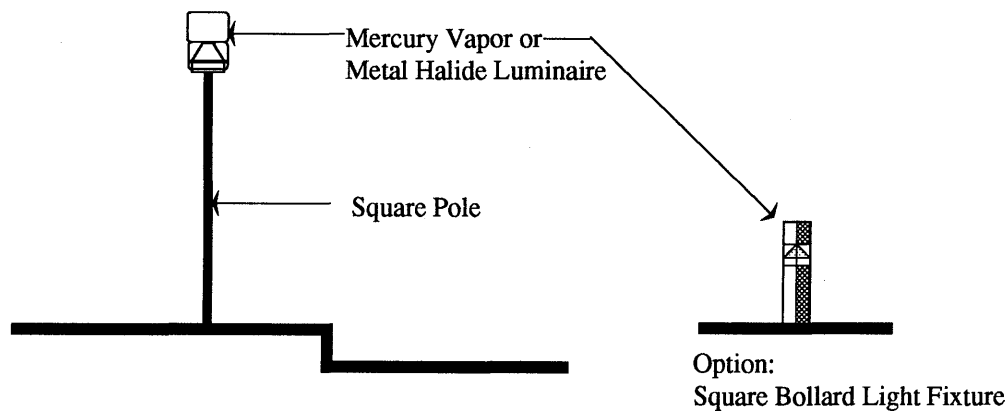


Figure 7.3  
Pedestrian Lighting Fixture

7.6.2 Point-to-point lighting within pedestrian walkway areas is acceptable with no specific illumination levels required. The main emphasis in this zone should be to clearly identify the pedestrian walkways and facilitate direction. Walkway and outdoor use area light fixtures shall be a maximum of 12 feet high and shall be located at exterior steps, walk intersections, walk endings and sitting areas. Bollard style lighting may be used as an alternative to the 12-foot fixture. Recessed step lighting may also be used.

## 7.7 Security Illumination

Security lighting fixtures mounted on buildings shall be a maximum of 25 feet high, and shall not project above the fascia or roof line of the building. They are to have internal shielding for glare, and a reflector light distribution system.

## 7.8 Signage Lighting

For sign lighting, a mercury vapor or metal halide illuminated fixture is recommended. At least one light fixture should be provided for each side of monument identification signs. (see Figure 7.4, Identification Sign Lighting) Ground-located up-lighting may also be used.

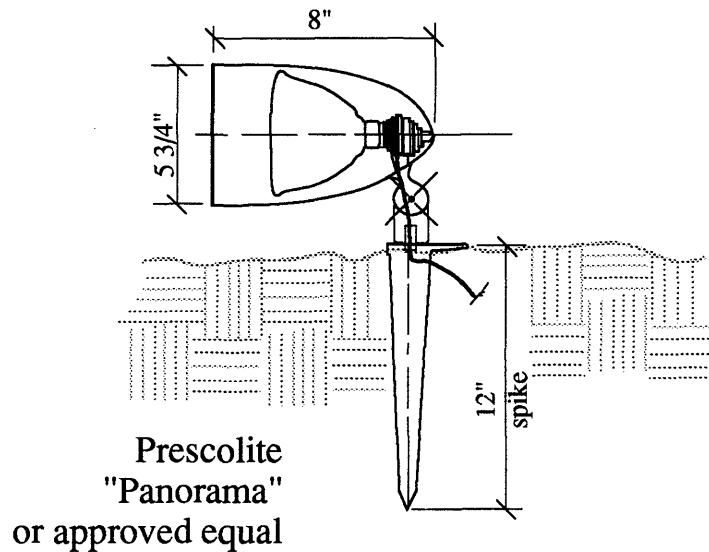


Figure 7.4  
Identification Signage Lighting

APPENDIX A

Recommended Plant  
Materials

# APPENDIX A

## Dominant and Subordinate Canopy Streetscape Trees

Streets & Plant Names	Dominate/(D) Subordinate (S)	Deciduous/ Broadleaf Evergreen	Drought Resistance	Size	Minimum Spacing	Remarks
<b>Primary Landscape Corridors</b>						
<i>Populus nigra</i> "Italica" * Lombardy poplar	D	Deciduous	Fair	Large	20'	Columnar Form
<i>Pyrus calleryana</i> 'Aristocrat' Aristocrat Pear	S	Deciduous	Fair	Medium	20'	Reddish fall colors
<i>Cedrus deodara</i> Deodar Cedar	S	Evergreen	Fair	Large	20'	Screen, good backdrop tree to accent planting
<b>Secondary Landscape Corridors</b>						
<i>Platanus acerifolia</i> 'Bloodgood' London Plane Tree	D	Deciduous	Fair	Large	35'	Golden fall color
<i>Liquidambar styraciflua</i> Sweet Gum	D	Deciduous	Fair	Medium		
<i>Sequoia sempervirens</i>	S	Evergreen	Fair	Large	18'	Screen, Good backdrop
<b>Entry Drives</b>						
<i>Platanus acerifolia</i> 'Bloodgood' London Plane Tree	D	Deciduous	Fair	Large	35'	Brown fall color
<i>Pyrus calleryana</i> 'Aristocrat' Aristocrat Pear	S	Deciduous	Fair	Medium	20'	Reddish fall colors

\*Root barriers recommended

(Appendix A)

**Required Dominant and Subordinate Canopy Streetscape Trees**

<u>Streets &amp; Plant Names</u>	<u>Dominate/ (D) Subordinate (S)</u>	<u>Deciduous/ Evergreen</u>	<u>Drought Resistance</u>	<u>Size</u>	<u>Minimum Spacing</u>	<u>Remarks</u>
<b>Collector Drives</b>						
<i>Pistacia chinensis</i> Chinese Pistache	D	Deciduous	Good	Large	30'	Orange-red fall color, drought tolerant
<i>Liquidambar styraciflua</i> Sweet Gum	D	Deciduous	Fair	Medium		
<i>Sequoia sempervirens</i>	S	Evergreen	Fair	Large	18'	Screen, Good backdrop for deciduous Fall color

(Appendix A)

### **Recommended Shade Trees for Parking Lots**

Please note: Trees with potential surface roots are recommended to be planted with root control barriers. "Planter Size" refers to minimum planter width excluding curb dimensions.

#### **30 - 35' Diameter Trees**

For shade calculations: 100% (Interior) = 962 sq. ft.; 50% (South, East, and West) = 481 sq. ft.; 25% (Corner and North) = 240 sq. ft.

Plant Name	Deciduous/ Broadleaf Evergreen	Drought Resistance	Height to:	Minimum Spacing	Planter Size	Remarks
<i>Celtis sinensis</i> Chinese Hackberry	Deciduous	Good	40'	35'	6'	Elm like leaves and form orange-red fall color.
<i>Pistachia chinensis</i> Chinese Pistache	Deciduous	Good	60'	30'	6'	
<i>Platanus acerifolia</i> 'Bloodgood' London Plane Tree	Deciduous	Fair	70'	35'	8'	Brown fall color

#### **25 - 30' Diameter Trees**

For shade calculations: 100% (Interior) = 707 sq. ft.; 50% (South, East, and West) = 354 sq. ft.; 25% (Corner and North) = 177 sq. ft.

<i>Gleditsia triacanthos inermis</i> 'Shademaster' Shademaster Honeylocust	Deciduous	Fair	40'=50'	25'	6'	Yellowish fall color
<i>Sapium sebiferum</i> Chinese Tallow Tree	Deciduous	Fair	35'	25'	6'	Reddish fall color
<i>Liquidambar styraciflua</i> * American Sweetgum	Deciduous	Fair	40'	20'	8'	Shallow surface roots Crimson-yellow fall color

\* Root barrier recommended

(Appendix A)

**Recommended Coniferous Trees for Specified Building Zones**  
(see landscaping guidelines for specified uses of coniferous trees)

<u>Plant Name</u>	<u>Drought Resistance</u>	<u>Minimum Spacing</u>	<u>Remarks</u>
<i>Pinus halepensis</i> Allepo Pine	Good	15'	Useful in poor soils. Use only in specified areas to screen views.
<i>Sequoia sempervirens</i> 'Santa Cruz' Coast Redwood	Fair	18'	Light Green Foliage Use only in specified areas to screen views.
<i>Calocedrus Decurrens</i> Incense Cedar	Fair	20'	Use only in specified areas to screen views.

(Appendix A)

## Recommended Trees for Building Pad Zones

(Note: Recommended flowering accent trees list may also be used.)

Plant Name	Deciduous/ Broadleaf Evergreen	Drought Resistance	Minimum Spacing	Size	Form	Fall Color	Remarks
<i>Alnus rhombifolia</i> White Alder	Semi-deciduous	Fair	20'	Large	Canopy		
<i>Betula pendula</i> 'Dalecarlina' Cutleaf Weeping White Birch	Deciduous	Fair	15'	Medium	Columnar, conical	Yellow	Needs plenty of water Pendulous branches
<i>Fraxinus uhdei</i> Evergreen Ash	Broadleaf	Fair	25'	Large	Arching vase		Spreading habit with age
<i>Koelreuteria paniculata</i> Golden Rain Tree	Deciduous	Good	20'	Medium	Canopy		Yellow flowers turning to interesting bean pods resembling Japanese lanterns which last into winter
<i>Pistacia chinensis</i> Chinese Pistache	Deciduous	Good	30'	Large	Canopy	Orange-Red	Sexes are separate male trees are more dense
<i>Populus nigra</i> 'Italica' * Lombardy Poplar	Deciduous	Good	8'	Large	Columnar		Good fast growing screen-short lived
<i>Rhus lancea</i> African Sumac	Broadleaf	Good	15'	Small	Dome, weeping		Somewhat messy berries
<i>Schinus molle</i> * California Pepper Tree	Broadleaf	Good	25'	Large	Canopy		Light green foliage; shallow voracious root system

\*Root control barrier recommended.

(Appendix A)

## Recommended Flowering Accent Trees

### 15 - 20' Diameter Trees

For shade calculations: 100% (Interior) = 314 sq. ft.; 50% (South, East, and West) = 157 sq. ft.; 25% (Corner and North) = 79 sq. ft.

Plant Name	Deciduous/ Broadleaf Evergreen	Drought Resistance	Height to:	Minimum Spacing	Planter Size	Remarks
<i>Arbutus unedo</i> Strawberry Tree	Broadleaf	Good	25'	12'	4'	Dark foliage
<i>Cercis occidentalis</i> Western Redbud	Deciduous	Good	20'	12'	4'	Reddish flowers Yellow Fall Color
<i>Lagerstroemia indica</i> Crape Myrtle	Deciduous	Fair	25'	12'	4'	Red, Pink, Lavender or White Flowers
<i>Lauris nobilis</i> Sweet Bay	Evergreen	Fair	30'	15'	6'	Greenish-white flowers
<i>Ligustrum lucidum</i> Glossy privet (standard)	Broadleaf	Fair	35'	12'	6'	White Flowers Very rapidly growing
<i>Nerium oleander</i> (standard)	Broadleaf	Good	20'	10'	4'	Red, Pink, White or Rose Flowers
<i>Prunus cerasifera</i> 'Thundercloud' Purple-leaf Plum	Deciduous	Fair	20'	15'	4'	Maroon foliage
<i>Pyrus calleryana</i> 'Bradford' Bradford Flowering Pear	Deciduous	Fair	50'	20'	6'	White flowers, crimson fall color
<i>Pyrus kawakami</i> Evergreen Pear	Semi- Deciduous	Fair	30'	15'	4'	White flowers, bright Shiny green foliage

(Appendix A)

## **Recommended Shrubs**

<u>Plant Name</u>	<u>Deciduous/ Broadleaf Evergreen</u>	<u>Drought Resistance</u>	<u>Size (Height)</u>	<u>Minimum Spacing</u>	<u>Form</u>	<u>Remarks</u>
<i>Abelia grandiflora</i> Glossy Abelia	Broadleaf	Fair	4-8'	4'	Rounded, arching	Pinkish-white flowers
<i>Berberis thunbergii</i> Japanese Barberry	Deciduous	Good	3-6'	4'	Rounded	Outstanding fall color Good barrier
<i>Carpenteria californica</i> Bush Anemone	Broadleaf	Good	3-6'	3'	Erect branches	White flowers
<i>Chaenomeles 'Cameo'</i> Flowering Quince	Deciduous	Fair	2-3'	3'	Compact	Apricot pink flowers
<i>Cotoneaster lacteus</i> Parney Cotoneaster or Red Clusterberry	Broadleaf	Good	6-8'	4'	Arching	Holds red berries into spring.
<i>Escallonia fradesi</i> Escallonia	Broadleaf	Fair	5-6'	3'	Rounded	Pink flowers
<i>Grevillia noelli</i> Grevillia	Broadleaf	Fair-Good	4'	3'	Dense	Needs full sun, can grow in poor, rocky soil once established. Pink and white flowers. Green glossy leaves.
<i>Ilex cornuta 'Burfordii'</i> Burford Holly	Broadleaf	Fair	3-4'	3'	Compact rounded	Red berries, glossy, leathery leaves
<i>Mahonia aquifolium</i> Oregon Grape Holly	Broadleaf	Good	4-6'	3'	Upright habit	Yellow flowers

(Appendix A)

**Recommended Shrubs (Continued)**

<i>Mahonia aquifolium</i> 'Compacta' Dwarf Oregon Grape Holly	Broadleaf	Good	2'	3'	Spreading	Good massing plant Yellow flowers
<i>Nandina domestica</i> 'Compacta' Heavenly Bamboo	Broadleaf	Fair	4-5'	3'	Upright habit	Red berries, Purple to Bronze tints in fall, and fiery crimson in winter if planted in sun.
<i>Osmanthus heterophyllus</i> 'Gulfside' Holly-Leaf Osmanthus	Broadleaf	Good	4-6'	3'	Upright habit	White flowers
<i>Photinia fraseri</i> Photinia	Broadleaf	Fair	to 10'	4'	Upright, spreading	White flower cluster, new growth bright bronzy red. Prune to control height and shape as desired.
<i>Raphiolepis indica</i> cvs. India Hawthorn	Broadleaf	Good	4-5'	3'	Compact, spreading	Pink flowers
<i>Rhamnus alternus</i> 'Variegata' Italian Buckthorn	Broadleaf	Good	10-20'	4'	Spreading habit if not planted close together	Prune to control height and shape. Valuable as a screen or clipped hedge.
<i>Spiraea bumalda</i> 'Anthony Waterer' Dwarf Red Spiraea	Deciduous	Fair	2-3'	3'	Rounded, dense	Carmine flowers
<i>Xylosma congestum</i> 'Compacta' Shiny Xylosma	Broadleaf	Good	4-5'	4'	Loose, graceful, spreading	Shiny leaves, useful as a barrier, border, foundation planting or as a bank cover.

(Appendix A)

## Recommended Evergreen Groundcovers

Plant Name	Drought Resistance	Size	Form	Remarks
<i>Arctostaphylos uva-ursi</i> Bearberry, Kinnikinnick	Fair	15' spread	Prostrate	Good cover for slopes, slowness to cover may cause weed problems. Flowers white-pinkish, glossy green leaves turning red in winter. Fruit red or pink.
<i>Arctotheca calendula</i> Cape Weed	Fair	8" - 10"	Running	Good on hillsides, yellow flowers and grey-green foliage.
<i>Baccharis pilularis</i> 'Twin Peaks' Coyote Brush	Good	8"-24" high	Dense mat	Small dark green leaves
<i>Ceanothus gloriosus exaltatus</i> "Emily Brown" Wild Lilac	Good	2-3' high	Spreading	Water to establish plants during first year then water infrequently during summer. Plants will live longer without frequent summer irrigation. Mid-blue flowers
<i>Cistus salvifolius</i> or sold as <i>Cistus villosus</i> 'Prostratus' Sageleaf Rockrose	Good	2' high 6' spread	Wide-spreading	Good bank or groundcover in rough situations. White flowers, light gray green foliage.
<i>Eriogonum fasciculatum</i> California Buckwheat	Good	1-3' high 4' spread	Clump of upright stems	Good erosion control plant. White or pinkish flowers
<i>Gazania</i> species	Fair	6-8" high	Clump form	Various colors, needs good drainage.
<i>Hemerocallis</i> hybrid (Evergreen) Daylily	Fair	2' high	Cluster	Good summer color. Wide color range
<i>Hypericum calycinum</i> Aaron's Beard	Fair	1" high	Spreading	Yellow flowers, dense cover for sun or shade

## Recommended Evergreen Groundcovers - (continued)

<i>Juniperus horizontalis</i> cvs. Creeping Juniper	Good	Varies 4"-18" high 4'-8' wide	Various forms	Require little maintenance, sturdy low groundcover
<i>Lantana sellowiana</i> or sold as <i>Lantana montevidensis</i>	Fair	11/2-2' high 3-4' spread	Trailing	Purple flowers, excellent bank cover
<i>Liriope muscari</i> Lily Turf	Fair	12' - 18" high	Loose clumps	Shade areas, spikelike violet flowers.
<i>Potentilla cinerea</i> Cinquefoil	Fair	2 - 4" high	Spreading	Pale yellow flowers. Good in full sun or partial shade
<i>Rosmarinus officinalis</i> "Prostratus" Dwarf Rosemary	Good	2' high 4'-8' spread	Spreading	Water infrequently-good drainage is a must
<i>Trachelospermum jasminoides</i> Star Jasmine	Fair	11/2-2' high	Spreading	Glossy dark green foliage, white flowers can be used as a shrub or vine, too.

(Appendix A)

## **Recommended Vines**

<u>Plant Name</u>	<u>Deciduous/ Evergreen</u>	<u>Drought Resistance</u>	<u>Remarks</u>
<i>Distictis buccinatoria</i> Blood Red Trumpet Vine	Evergreen	Fair	Orange red flowers, effective on fence or high wall or arbor. Prune yearly to keep under control.
<i>Ficus pumila</i> Creeping Fig	Evergreen	Fair	Attaches to wood, masonry, or metal in barnacle fashion. Neat little leaves. Do not grow on hot south or west facing walls. Keep away from windows and doors by trimming annually.
<i>Jasminum polyanthum</i> Jasmine	Evergreen	Fair	Prune annually to prevent tangling. Flowers are white inside and rose colored outside.
<i>Lonicera japonica</i> 'Halliana' Hall's Honeysuckle	Evergreen	Fair	Vine covers 150 sq. ft. Can be used as bank ground cover and erosion control in large areas. Unless controlled, it can crowd out less vigorous plants.
<i>Parthenocissus tricuspidata</i> Boston Ivy	Deciduous	Fair	Orange to scarlet fall color. Good on walls that do not recognize painting.
<i>Parthenocissus quinquefolia</i> Virginia Creeper	Deciduous	Fair	Orange to scarlet fall color. Vigorous vine that clings or runs along the ground. Avoid planing on buildings with wood siding or shingles. Vines attach to walls using clinging tendrils and are hard to remove at painting time.

(Appendix A)

**Recommended Grasses for Lawn and Turf**

	Seeding Rate: lbs./1000 s.f.	Mowing Height	Remarks
Fescue-Bluegrass Mixture "Fineturf"™ (Stover Seed Company) 45% Falcon Tall Fescue 45% Rebel Tall Fescue 5% Parade Kentucky Bluegrass 5% Baron Kentucky Bluegrass	8-10	2-3"	-Very good disease resistance -Good drought tolerance -Excellent wearability -Very good shade tolerance -Needs medium fertilizer requirements -Medium maintenance requirements
Tall Fescue Blend "Triple Crown"™ (Stover Seed Company) 34% Falcon Tall Fescue 33% Mustang Tall Fescue 33% Rebel Tall Fescue and/or Appache Tall Fescue	7-10	2-3"	-Use to hydroseed new lawns -Use to overseed thin lawns or to renovate lawns  -Very good disease resistance -Good drought tolerance -Excellent wearability -Very good heat tolerance -Very good shade tolerance -Very low fertilizer requirements -Low maintenance requirements
Tall Fescue Special Blend "Medalion"™ (Pacific Sod)	N/A	2 1/2"	-Use to hydroseed new lawns  -Use to sod lawn areas

(Appendix A)

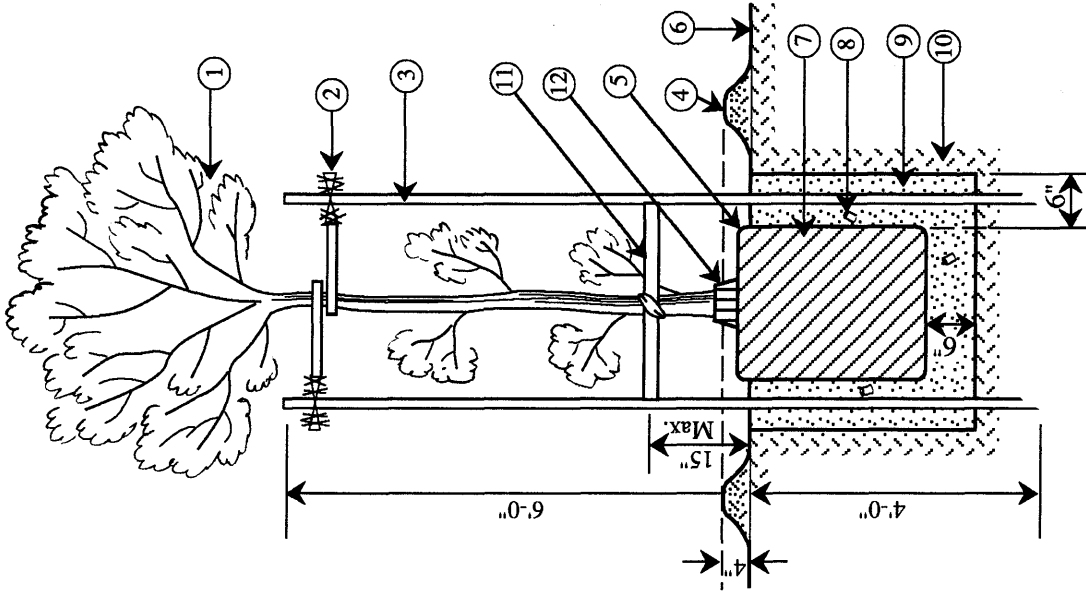
**Recommended Grasses for Meadows and Hillsides**

	Seeding Rate: lbs./Acre	Growing Height	Remarks
Meadow and Erosion Control Mixture (by Stover Seed Co.) Contains fine textured grasses and wild flowers	150-200	12-15"	-Good drought tolerance -Requires irrigation -Good in clay or sandy soils -Hydroseed to establish -Soil and weed control prior to seeding
Hillside Erosion Control (by Stover Seed Co.) Deep rooted grasses, legumes & wildflowers, quick establishment	150-200	20-25"	-Very good drought tolerance -Requires irrigation -Good in clay soils -Hydroseed to establish -Soil and weed control prior to seeding
Dryland Erosion Control (by Stover Seed Co.) Deep rooted, drought tolerant grasses & legumes	40-60	18-30"	-Excellent drought tolerance -Dryland or irrigated conditions -Good in clay soils -Hydroseed to establish -Soil and weed control prior to seeding

APPENDIX B

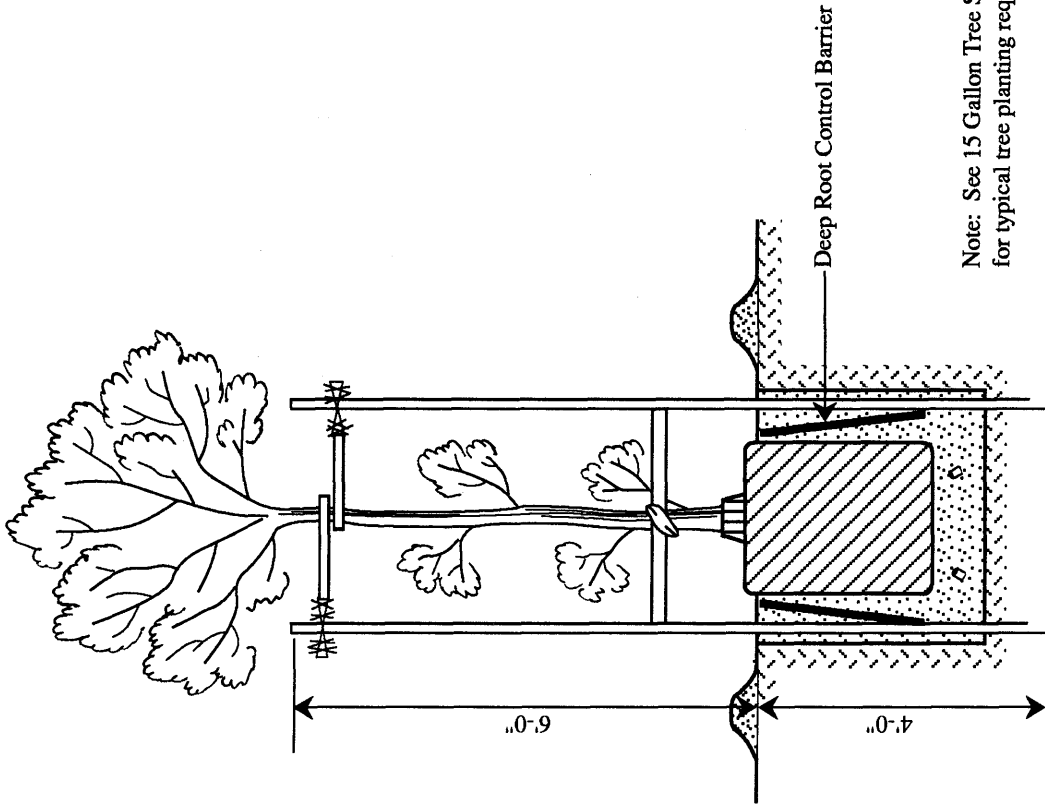
Recommended Planting  
Details

# APPENDIX B

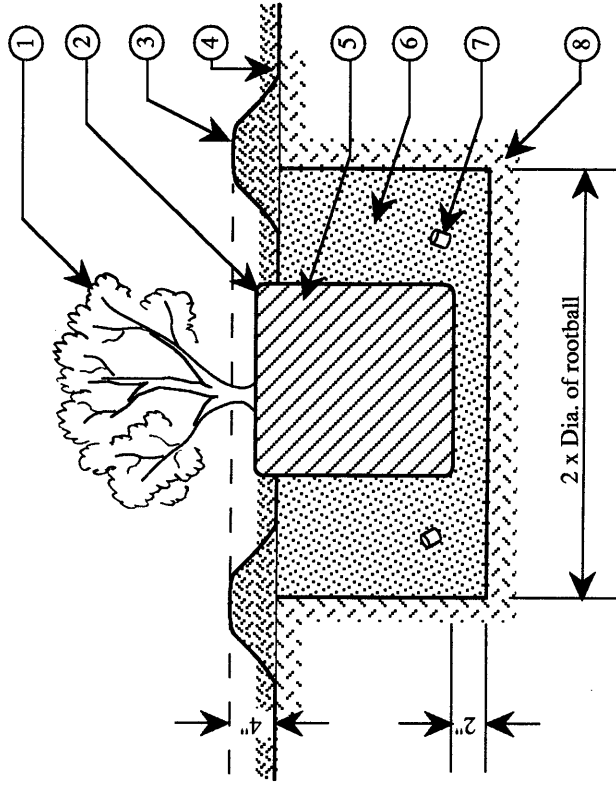


- 1) 15 gallon tree; remove nursery stakes and leave lower branches.
- 2) No. 12 wire with new rubber hose; two twists at each side of stakes.
- 3) 2-2.5" diameter x 10' Lodgepole stakes. Place stakes outside rootball.
- 4) 4" water basin (in planting areas only). Cover with Fir or Redwood bark mulch.
- 5) Set rootball 2" above finished grade.
- 6) finished grade
- 7) rootball
- 8) slow-release fertilizer tablets, typ.
- 9) Prepared backfill mix of 50% soil amendment and 50% existing soil.
- 10) compacted subgrade
- 11) 1" x 4" D.F. brace with rubberized webbing. Tie in an "s" loop.
- 12) arbor guard (in lawn areas only)

## 15 Gallon Tree Staking Detail

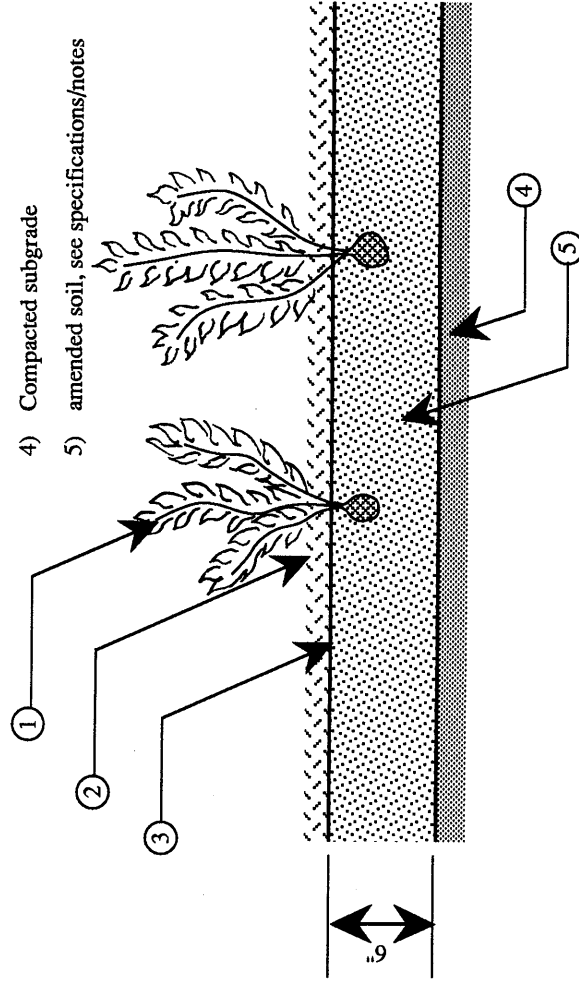


## Tree Planting Detail with Deep Root Control Barrier

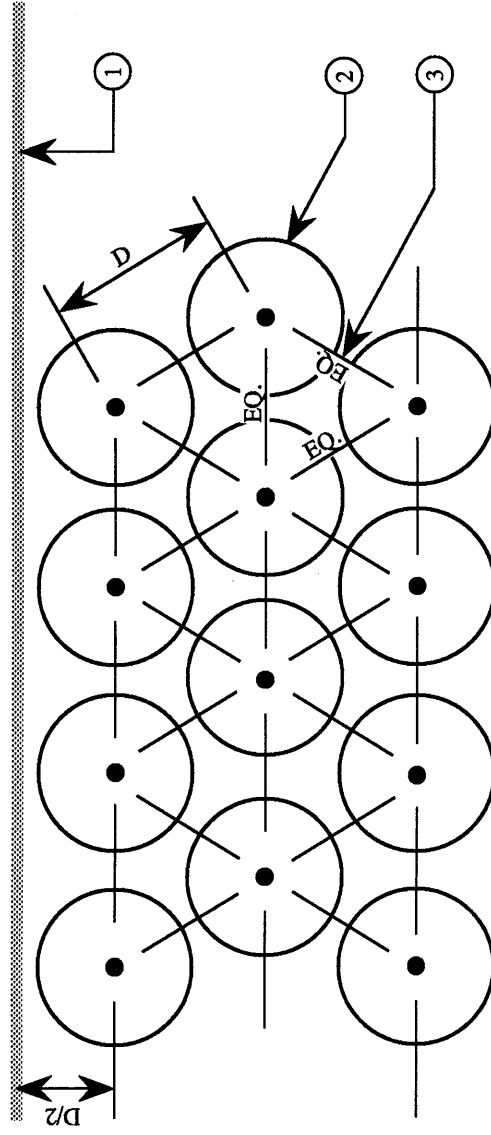


**Shrub Planting Detail**

- 1) Groundcover plant from 1 gallon can, flats or liners.
- 2) 2" mulch of Redwood or Fir bark.
- 3) Finish Grade
- 4) Compacted subgrade
- 5) amended soil, see specifications/notes



**Groundcover Planting Detail**



- 1) Building, pavement edge or wood header
- 2) Groundcover plant from 1 gallon can, flats or liners
- 3) Typical Spacing

## Groundcover Spacing (Plan View)

## APPENDIX C

# Example of Shade Calculations

# APPENDIX C

Tree	Interior Planter (100%)	South, East & West Perimeter (50%)	Corner & North Perimeter (25%)
<i>Celtis sinensis</i> Chinese Hackberry	NA	2 X (480) = 960	2 X (240) = 480
<i>Platanus acerifolia</i> 'Bloodgood' London Plane Tree	3 X (960) = 2880	NA	NA
<i>Pistachia chinensis</i> Chinese Pistache	NA	2 X (480) = 960	2 X (240) = 480
<i>Liquidambar styraciflua</i> American Sweetgum	NA	2 X (355) = 710	3 X (180) = 540
<i>Sapium sebiferum</i> Chinese Tallow Tree	NA	5 X (355) = 1775	NA
<b>CALCULATED TOTAL:</b>	2880	4400 +	1490 = 8780 sf
<b>REQUIRED TOTAL</b>			
Area of Paving (AP)	17,430 sf		
Area Required to be Shaded	17430 X 50% = 8715 sf		
	<b>+8780 sf &gt; 8715 sf (SHADE PROVIDED EXCEEDS AMOUNT REQUIRED)</b>		

NA = Not applicable

Note: Spacing trees closer than their estimated spread will not provide more shade value as illustrated below.

## EXAMPLE OF SHADE CALCULATIONS

APPENDIX D

Example of Irrigation  
Calculation Format

# APPENDIX D

## EXAMPLE OF IRRIGATION CALCULATIONS

CIRCUIT IDENTIFIER	FLOW	SQUARE FT	IRR. TYPE	ESTABLISHMENT			MAINTENANCE						
				SPR	SUM	FALL	WIN	SPR	SUM	FALL	WIN		
				A	B								

D = DRIP  
 S = SPRAY  
 B = BUBBLER  
 N = NETOFIN

A = MIN/DAY  
 B = DAYS/WEEK

Define length of establishment time.

APPENDIX E

Water Conservation and  
Drought Mitigation Ordinance

Chapter 14.09

WATER CONSERVATION

Sections:

- 14.09.010 Short Title.
- 14.09.020 Enforcement Officer.
- 14.09.030 Definition of Water Waste.
- 14.09.040 Water Conservation and Drought Stages.
- 14.09.050 Determination of Drought Staging—Effect of Well Water.
- 14.09.060 Basic Stage Restrictions.
- 14.09.070 Stage One Drought Restrictions.
- 14.09.080 Stage Two Drought Restrictions.
- 14.09.090 Stage Three Drought Restrictions.
- 14.09.100 Stage Four Drought Restrictions.
- 14.09.110 Stage Five Restrictions.
- 14.09.120 Determination of Drought Tolerance.
- 14.09.130 Determination of Landscape Water Consumption Reductions.
- 14.09.140 Allocation of Water; Determining; and Discontinuance of Service.
- 14.09.150 Surcharge for Exceeding Allocation.
- 14.09.160 Water Waste Violation Unlawful.
- 14.09.170 Violation Declared a Nuisance.
- 14.09.180 Remedies cumulative.
- 14.09.190 Chapter Severable.

14.09.010 Short Title.

This chapter may be cited as the Water Conservation and Drought Mitigation Ordinance. (Ord. 2413 § 2 (part), 1991.)

14.09.020 Enforcement Officer.

The Director of Environmental Utilities (“the Director”) shall enforce the provisions of this chapter. (Ord. 2413 § 2 (part), 1991.)

## PUBLIC UTILITIES

### 14.09.030 Definition of Water Waste.

Any of the following acts or omissions, whether willful or negligent shall constitute the waste of water:

- A. Causing or permitting water to discharge, flow or run to waste into any gutter, sanitary sewer, water course or storm drain, or to any adjacent lot, from any tap, hose, faucet, pipe, sprinkler, or nozzle. In the case of irrigation, "discharge," "flow" or "run to waste" means that the earth intended to be irrigated has been saturated with water to the point that excess water flows over the earth to waste. In the case of washing, "discharge," "flow" or "run to waste" means that water in excess of that necessary to wash, wet or clean the dirty or dusty object, such as an automobile, sidewalk, or parking area, flows to waste.
- B. Allowing water fixtures or heating or cooling devices to leak or discharge.
- C. Maintaining ponds, waterways, decorative basins or swimming pools without water recirculation devices.
- D. Backwashing so as to discharge to waste swimming pools, decorative basins or ponds in excess of the frequency necessary to maintain the clarity and cleanliness of the water as determined by the Director.
- E. Operation of an irrigation system that applies water to an impervious surface or that is in disrepair.
- F. Use of a water hose not equipped with a control nozzle capable of completely shutting off the flow of water except when positive pressure to leave the hose on is applied.
- G. Irrigation of landscaping during rainfall.  
(Ord. 2413 § 2 (part), 1991.)

### 14.09.040 Water Conservation and Drought States.

The following water conservation and drought stages are hereby established:

- A. Basic Water Conservation Stage ("Basic Stage"). The Basic Stage shall exist when the City's water supply is adequate to meet all projected demands as determined by the Director.
- B. Stage One Drought. A Stage One Drought shall exist when the City's water supply is adequate to meet 90% of projected demands as determined by the Director.

- C. Stage Two Drought. A Stage Two Drought shall exist when the City's water supply is adequate to meet 80% of projected demands as determined by the Director.
- D. Stage Three Drought. A Stage Three Drought shall exist when the City's water supply is adequate to meet 70% of projected demands as determined by the Director.
- E. Stage Four Drought. A Stage Four Drought shall exist when the City's water supply is adequate to meet 60% of projected demands as determined by the Director.
- F. Stage Five Drought. A Stage Five Drought shall exist when the City's water supply is adequate to meet 50% or less of projected demands as determined by the Director.  
(Ord. 2413 § 2 (part), 1991.)

### 14.09.050 Determination of Drought Staging Effect of Well Water.

In determining the water conservation and drought stage in effect, the Director shall take into account only surface water available from the Bureau of Reclamation and the Placer County Water Agency. Well water shall not be considered. In the event that this would result in a Stage Three Drought or higher, water wells may be activated to mitigate the supply to a Stage Two Drought. However, in no case shall well water be used as an alternative to declaration of a Stage One or Stage Two Drought. (Ord. 2413 § 2 (part), 1991.)

### 14.09.060 Basic Stage Restrictions.

During the Basic Water Conservation Stage, the following restrictions shall be in force:

- A. Landscaping:
  1. All commercial, industrial, developer and city-installed landscaping shall:
    - a. comply with any landscape improvement standards adopted by the City.
    - b. Except in City parks and private, single family residences, only approved, active play areas shall be turf. All non-turf areas shall be drip-irrigated, irrigated by bubblers, irrigated by other, approved low flow systems, or irrigated by hand. At least 50% of all landscaping shall be drought tolerant. This subsection does not apply to the extent reclaimed or recycled water is used.

2. In new subdivisions having model homes, the first two model homes constructed shall be drought tolerant. However, 35% of the total landscape may be turf, provided that not more than 25% of the front yard shall be turf.
3. No landscape plans shall be approved without water consumption calculations.

**B. Water Reclamation:**

All site reviews shall include an evaluation of water reclamation and recycling, and use of reclaimed water from the City shall be required if economically feasible.

(Ord. 2413 § 2 (part), 1991.)

**14.09.070 Stage One Drought Restrictions.**

During a State One Drought, the following restrictions shall be enforced:

- A. All Basic Stage restrictions required by Section 14.09.060 shall continue in place, except to the extent they are replaced by more restrictive conditions imposed by this section.
- B. Outside Uses:
  1. Washing of streets, parking lots, driveways, and sidewalks is prohibited. The Director may grant an exception where necessary for the public health or safety.
  2. Washing of vehicles or boats is prohibited except:
    - a. When washed using a bucket, or
    - b. When washed over an area which is landscaped and normally irrigated, provided that any hose used must be equipped with a control nozzle capable of completely shutting off the flow of water except when positive action or pressure to keep the hose on is applied.

**C. Restaurants:**

Water shall not be served at restaurants except by request. (Ord. 2413 § 2 (part), 1991.)

**14.09.080 Stage Two Drought Restrictions.**

During a Stage Two Drought, the following restrictions shall be enforced:

- A. All Basic Stage or Stage One restrictions required by Section 14.09.060 or 14.09.070 shall continue in place, except to the extent they are replaced by more restrictive conditions imposed by this section.

**B. Landscaping:**

1. Irrigation of landscaping is restricted to the periods between 4:00 a.m. to 8:00 a.m. and between 8:00 p.m. to 10:00 p.m.
2. Nonresidential (including without limitation, commercial, industrial, church and publicly owned) customers shall reduce irrigation by 30% for existing landscaping

**14.09.090 Stage Three Drought Restrictions.**

During a Stage Three Drought, the following restrictions shall be enforced:

- A. All Basic Stage, Stage One, or Stage Two restrictions required by Sections 14.09.060, 14.09.070 and 14.09.080 shall continue in place, except to the extent they are replaced by more restrictive conditions imposed by this section.
- B. Landscaping:
  1. New or expanded landscaping is limited to drought tolerant trees, shrubs, and ground cover. No new turf or grass shall be planted, hydroseeded, or laid.
  2. Nonresidential (including without limitation, commercial, industrial, church, and publicly owned) customers shall reduce irrigation by 50% for existing landscaping
  3. Trees and shrubs shall be watered only by drip irrigation system or by handheld hose. If a hose is used, it shall be equipped with a control nozzle capable of completely shutting off the flow of water, except when positive action or pressure to keep the hose on is applied.
  4. Except where reclaimed water is used, golf course fairways shall not be watered. One-half of the turf areas in all City parks and median strips shall not be watered.
  5. All decorative fountains, decorative (i.e. non-swimming) pools, and decorative waterways shall be drained and made dry. Such fountains, pools, and waterways shall not be refilled until the City has returned to the basic water conservation stage.

**C. Construction Water:**

Except where reclaimed water is used, use of water for dust control shall be augmented by hardened, temporary travel routes. Nonpotable water shall be used to the greatest extent possible.

## PUBLIC UTILITIES

### D. Swimming Pools:

All swimming pools and spas shall be covered when not in use, so as to eliminate evaporation, or shall be drained and made dry. If drained, such swimming pools shall not be refilled until the City has returned to the Basic Water Conservation Stage.

(Ord. 2413 § 2 (part), 1991.)

### 14.09.100 Stage Four Drought Restrictions.

During a Stage Four drought, the following restrictions shall be enforced:

A. All Basic Stage, Stage One, Stage Two, or Stage Three restrictions required by Sections 14.09.060, 14.09.070, 14.09.080 or 14.09.090 shall continue in place, except to the extent they are replaced by more restrictive conditions imposed by this section.

### B. Landscaping:

1. All nonresidential (including without limitation, commercial, industrial, church, and publicly owned) customers shall reduce irrigation by 75% for existing landscaping.
2. All residential landscape irrigation shall be by handheld hose only. The hose must be equipped with a control nozzle capable of completely shutting off the flow of water except when positive action or pressure to keep the hose on is applied.
3. Except where reclaimed water is used, no turf in City parks or medians shall be irrigated.

### C. Construction water:

Except where reclaimed or other nonpotable water is used, use of water for dust control is prohibited.

### D. Swimming pools:

Backwashing of filters or filling pools and spas is prohibited.

### 14.09.110 Stage Five Restrictions.

During a Stage Five Drought, the following restrictions shall be in force:

A. All Basic Stage, or Stage One, Stage Two, Stage Three or Stage Four restrictions required by Sections 14.09.060, 14.09.070, 14.09.080, 14.09.090 or 14.09.100 shall continue in place, except to the extent they are replaced by more restrictive conditions imposed by this section.

### B. Landscaping:

1. Except where reclaimed water is used, turf or grass shall not be irrigated.
2. No persons shall irrigate any landscaping except a tree, shrub, or drought tolerant ground cover. No irrigation shall be done except by handheld hose equipped with a nozzle capable of completely shutting off the flow of water except when positive action or pressure to keep the hose on is applied. (Ord. 2413 § 2 (part), 1991.)

### 14.09.120 Determination of Drought Tolerance.

Where this chapter permits or prohibits acts based upon whether or not a planting, tree, shrub, or groundcover is "drought tolerant" the determination shall be made based upon Sunset's "The Western Garden Book" (July 1987), Lane Publishing Co. Robert Perry, "Trees and Shrubs for Dry California Landscapes," or EBMUD, "Water Wise Gardening." Where this chapter permits or prohibits acts based upon whether a form of irrigation is "drip irrigation" the determination shall be made by the Director of Parks & Recreation, whose determination shall be final.

(Ord. 2413 § 2 (part), 1991.)

### 14.09.130 Determination of Landscape Water Consumption Reductions.

Whenever this chapter requires a reduction in consumption of water for irrigation purposes, the base year for measurement shall be 1990. The Director may elect to base a reduction on the base year or on a landscape water consumption calculation if use in 1990 was, in the Director's sole opinion, either excessive or extraordinarily low. For landscaping installed subsequent to 1990, the calculations shall be based on landscape water consumption calculations submitted with the landscape plan, or water consumption the previous year, whichever is less. (Ord. 2413 § 2 (part), 1991.)

### 14.09.140 Allocation of Water; Metering; and Discontinuance of Service.

The Director shall issue warnings (a "notice of water waste") to customers determined by him to be violating provisions of this chapter. The Director may either allocate a particular amount of water to

a given customer, require an unmetered customer to be metered at the customer's cost, or discontinue water service, or any combination thereof, in the Director's discretion, as provided in this section:

- A. Upon issuance of the third notice of water waste during either the Basic Stage or Stage One Drought.
- B. Upon issuance of the second notice of water waste during either a Stage Two or Stage Three Drought.
- C. Immediately and without any prior notice of water waste during either a Stage Four or Stage Five Drought, or during any stage when water waste is intentional or flagrant.

Allocations for nonresidential customers shall be in amounts determined by the Director. Allocations for residential customers shall be 300 gallons per day per dwelling unit.

(Ord. 2413 § 2 (part), 1991.)

**14.09.150 Surcharge for Exceeding Allocation.**

Where an allocation of water has been established pursuant to this chapter, a customer exceeding the allocation shall pay a surcharge, in addition to any other water rate applicable, as follows:

- A. One dollar (\$1.00) per 100 gallons for any amount exceeding the water allocation up to 110% of the allocation.
- B. Five dollars (\$5.00) per 100 gallons for any amount of water exceeding 110% of the allocation up to 120% of the allocation.
- C. Ten dollars (\$10.00) per 100 gallons for any amount in excess of 120% of the allocation.

(Ord. 2413 § 2 (part), 1991.)

**14.09.160 Water Waste Violation Unlawful.**

It is unlawful for any person to waste water or to violate any provision of this chapter. Such violation may be charged as an infraction or a misdemeanor in the discretion of the City Attorney. (Ord. 2413 § 2 (part), 1991.)

**14.09.170 Violation Declared a Nuisance.**

Violation of any provision of this chapter adversely and seriously affects the public health, safety and welfare, and is hereby declared to be a public nuisance which may be abated. (Ord. 2413 § 2 (part), 1991.)

**14.09.180 Remedies Cumulative.**

All remedies provided by this chapter for violations, whether criminal, civil or administrative are cumulative, and are in addition to both each other and to any other remedy provided by law. (Ord. 2413 § 2 (part), 1991.)

**14.09.190 Chapter Severable.**

The provisions of this chapter are severable. The City Council declares that it would have adopted the remainder of this chapter even if any of its provisions are declared unlawful or unenforceable. (Ord. 2413 § 2 (part), 1991.)

**Chapter 14.12**

**REGULATION OF SEWER USE**

**Sections:**

- 14.12.010 Definitions.
- 14.12.020 Use of public sewers required.
- 14.12.030 Private sewage disposal.
- 14.12.040 Building sewers and connections.
- 14.12.050 Use of public sewers.
- 14.12.060 Violation—Penalty.

**14.12.010 Definitions.**

Unless the context specifically indicates otherwise, the meaning of terms used in this chapter shall be as follows:

- A. "BOD" (denoting biochemical oxygen demand) means the quantity of oxygen utilized in the biochemical oxidation of